

GAINES CHARTER TOWNSHIP
PLANNING COMMISSION – REGULAR MEETING
Township Board Room - 8555 Kalamazoo Ave. S.E. Caledonia, MI 49316

DRAFT Agenda

7:00 p.m. – Thursday, May 23rd, 2024

- I. Call to Order and Roll Call**
- II. Consideration of Agenda**
- III. Consideration of Meeting Minutes**
 - a. Consideration of April 25th, 2024, Planning Commission Regular Meeting Minutes
- IV. Inquiry of Conflict of Interest**
- V. Public Comment**
- VI. New Business**
 - 1. Public Hearings**
 - a. 1470 68th Street – Special Use Permit – Accessory Building
 - b. 7376 Hanna Lake - Special Use Permit – Accessory Building
 - c. Alexander Trails PUD – Major Amendment Site Plan Review
 - 2. Site Plan Review**
 - a. 6141 East Paris Avenue – StonePro Warehouse
 - 3. Items not requiring a Public Hearing**
 - a. 4598 84th Street – Special Use Permit – Accessory Building
 - b. 3495 68th Street – Dutton Marathon – PUD Amendment- Preliminary Review
- VII. General Discussion**
 - a. Clarification of Data Center Use
- VIII. Adjournment**

Persons with disabilities needing special accommodations should contact Kim Triplett at (616) 698-6640 one week prior to the meeting to request mobility, visual or any other assistance.

DRAFT Minutes of the Gaines Charter Township Planning Commission

Regular Meeting held April 25th, 2024, at 7 pm

8555 Kalamazoo Ave., SE, Caledonia, MI 49316

MEMBERS PRESENT: Thomas, Waayenberg, Wiersema, Billips, Haagsma

MEMBERS ABSENT: Rober and Giarmo, with notice.

STAFF PRESENT: Dan Wells, Community Development Director; Dakota Swan, Assistant Planner; Ken Van Hall, Fire Chief

I. CALL TO ORDER AND ROLL CALL

Secretary Lani Thomas called the meeting to order at 7:00 PM.

II. CONSIDERATION OF MEETING AGENDA

- a. Nomination of Commissioner Haagsma as alternate chair due to Chair Giarmo and Vice Chair Rober's absences.

Motion: Motion by Waayenberg, supported by Billips to appoint Commissioner Haagsma as the temporary Chair for this meeting.

DISCUSSION: None

AYES: All

NAYS: None

ABSTAIN: None

DECISION: Motion Carried (5-0)

III. CONSIDERATION OF MEETING MINUTES

Consideration of the March 28th, 2024, regular Planning Commission meeting minutes.

Motion: Motion by Wiersema, supported by Waayenberg to approve the minutes of March 28th, 2024, as is.

DISCUSSION: None

AYES: All

NAYS: None

ABSTAIN: None

DECISION: Motion Carried (5-0)

IV. INQUIRY OF CONFLICT OF INTEREST

None.

V. PUBLIC COMMENT

VI. NEW BUSINESS

1. Public Hearings

a) 4598 84th Street – Special Use Permit - Accessory Building

Mike Naber, the applicant for this project, explained his request for a Special Use Permit. He stated that there is an already existing accessory building on the property that he intends to add an additional 1,600 square feet (SF) to for storing trophy mounts and hosting family gatherings.

Planner Wells gave an overview of the staff report for this project and confirmed that all standards of review have been met through this application, and that staff doesn't anticipate any adverse effects on adjacent property owners or general health, safety, and welfare. Wells stated the only concern staff had was the height of the building; the maximum permitted height of accessory buildings in this area is 20 feet. Wells also mentioned that staff recommends a condition in which the proposed building should be architecturally similar to the existing buildings on the property.

Chair Haagsma opened the public hearing and subsequently closed it after nobody approached the podium.

Commissioner Wiersema inquired about total square footage calculations and if covered porches are to be included; Planner Wells confirmed that covered porches do count towards total square footage.

Secretary Thomas also inquired about the height of the building, to which Naber stated that the new building will either be the same height as the existing building or shorter. Naber also added that the addition will be stick-built rather than pole barn construction to match the existing building on the parcel.

Motion: Motion by Waayenberg, supported by Thomas, to approve the Special Use Permit with the condition that the height will meet development standards, the addition will be architecturally similar to existing buildings on the parcel, and it will not be used for commercial purposes.

DISCUSSION: None.

AYES: ALL

NAYS: None

ABSTAIN: None

DECISION: Motion Carried (5-0)

b) 820 92nd Street – Special Use Permit – Accessory Building

The applicant, John VanderMeulen, explained his request for a Special Use Permit and stated that he intends to build a 32' x 48' pole barn for working on his hobbies and storing his motor home.

VanderMeulen stated that the barn is planned to be grey initially, and that he intends to install wood siding eventually so that it will match the home on the parcel.

Planner Wells gave an overview of the project and said that there are currently no accessory buildings on the site, and that staff found all standards of review and setback regulations to be met. Wells added that an accessory building of this size is typical in this area of the Township, therefore this request is consistent with the Zoning Ordinance and the intent of the Master Plan.

Chair Haagsma opened the public hearing and subsequently closed it as nobody approached the podium to speak.

Commissioner Wiersema inquired about the staff recommended condition that the accessory building will not be used for commercial purposes; Wells stated that standard is included as a means of clarifying to the applicant that commercial use of the building would be prohibited.

Motion: Motion by Waayenberg, supported by Wiersema to approve the Special Use Permit with the conditions that it will be architecturally similar to the home on the parcel and that it will not be used for commercial purposes.

DISCUSSION: None

AYES: ALL

NAYS: None

ABSTAIN: None

DECISION: Motion Carried (5-0)

c) 163 68th Street – Special Use Permit – Accessory Building

Applicant Daniel Suarez-Lopez explained his request for a Special Use Permit. He stated that he currently has a one stall garage and intends to tear it down and rebuild a bigger garage for two reasons; one, he said the garage looks “sad” compared to other garages in the neighborhood, and two, his family has outgrown the current garage, and the lack of space is affecting traffic flow on the street/ snow plowing. Suarez-Lopez added that he intends to redo the siding on the house so that it matches the new garage.

Planner Wells gave an overview of the staff report for this project and said that the new garage will be approximately 584 SF larger than what is permitted ‘by right’, hence the need for a Special Use Permit, and that the intended use is for residential storage. Wells highlighted that all standards of review and setbacks were found to be met, and that a neighbor directly to the east of this parcel had submitted a public comment via email expressing support for this request. Wells also discussed the unique nature of this property; the residence on this parcel is lawfully nonconforming due to the orientation of the home on the parcel. It is a corner lot so it appears as though there are two front yards, however, staff would consider the existing garage to be in the side yard in this instance, therefore all setbacks were found to be met. The Special Use Permit request wouldn’t be making the nonconformity any worse, and Wells stated that staff recommends approval of this Special Use Permit.

Chair Haagsma opened the public hearing and closed it after nobody approached the podium to speak on behalf of this project.

Commissioner Wiersema sought clarification about the dimensions of the proposed garage, and Suarez-Lopez confirmed that the garage is intended to have 2 doors but enough space for 3 cars.

Motion: Motion by Waayenberg, supported by Thomas to approve the Special Use Permit request with the conditions that it will be architecturally similar to the home on the parcel, and it will not be used for commercial purposes.

DISCUSSION: None

AYES: ALL

NAYS: None

ABSTAIN: None

DECISION: Motion Carried (5-0)

d) 44 Brownell Street - Special Use Permit – Production Brewery

Matt Szukalowski and David Sawyer of Adesanya Mead and Microbrewery explained their request for a Special Use Permit. They intend to use their space at 44 Brownell solely as a production space for wine, mead, and cider; no retail sales or consumption are intended to occur at this facility. Szukalowski said that this space was particularly appealing to them and their business because of the excellent drainage capabilities at this site, and that the brewing process is relatively quiet, so they do not expect to generate excessive noise. He clarified that waste byproducts from the brewing process include spent grain, which is planned to be used as feed for livestock in the area as they will have local farmers picking it up from time to time. They also stated that nobody else will be working in this space or brewing besides the two of them, and they don't anticipate major changes to traffic in the area. They do expect traffic to be a little heavier in the beginning as they're getting equipment delivered and set up, but after that, traffic will mainly be from the two of them arriving and leaving, in addition to local farmers picking up grain, and deliveries being made to their main storefront in Grandville.

Planner Wells offered an overview of the staff report on this agenda item. He stated that this is one of the first breweries to enter the area, and that while there is some cooler space and some office space on the site, it's really a small-scale manufacturing space. Wells stated that all standards of review for Special Uses were found to be met, however, one area of concern pertaining to the welfare of adjacent landowners could be odor emitted from the fermentation process, or the spent grain that results from the brewing process. Wells added that this area is zoned as Neighborhood Commercial, which accounts for businesses like this and is considered in the Master Plan. He also clarified that the scale of this operation is indeed appropriate for the area, however, if they were to exceed 12,000 barrels a year, they would have to relocate to a different area. The applicant later commented that they anticipate brewing approximately 500 barrels a year, which is perfectly in line with the scale of business intended for this area. In terms of emergency services, Wells said that there are no proposed changes to the interior or exterior of the building that would warrant significant changes in fire protection. Wells stated that the applicants will need to obtain permits from the City of Wyoming for wastewater discharge, but that there aren't any adverse effects to the environment. He went on to mention that this building is lawfully nonconforming and is approximately 30 years old, meaning it was constructed long before current

setback regulations were imposed, and nothing the applicant intends to do would be making the nonconformity any worse, so staff didn't find any issues with this request. Planner Wells concluded by saying that staff waived the need for a full Site Plan Review because there aren't any proposed alterations to the exterior of the building, and that overall, staff recommends approval of this request if the applicant acquires the necessary permits.

Chair Haagsma opened the public hearing; nobody approached the podium to speak so he closed the hearing.

Commissioner Wiersema inquired about the location of the dumpster on the site; Szukalowski responded that they are unsure of the exact location of the dumpster at this time, but assured the Planning Commission that it's a gated area and the dumpster will be gated during non-business hours.

Wiersema then inquired about the need for landscaping requirements at this site, to which Planner Wells said if the Planning Commission feels as though that is necessary, it is a condition they could impose. Wiersema then expressed his desire to see some vegetation in the front of the building in addition to an ornamental tree to beautify the site.

Planner Wells asked if they own the space or are leasing it; Szukalowski said that they have a five-year lease contract.

Secretary Thomas inquired about how often farmers would be coming to pick up grain; Szukalowski said that the exact frequency of pickups is undetermined at this time, but it will depend on how often they brew. They anticipate brewing approximately two batches a day at the most, and plan to synchronize their brewing schedule with farmer pickups.

Commissioner Billips asked about farmer pickups and what that process would look like; Szukalowski responded that the plan is to store the spent grain in big barrels and reuse them for future pickups.

Motion: Motion by Waayenberg, supported by Billips to approve the Special Use Permit with the conditions that the wastewater discharge permit is obtained from the City of Wyoming and reviewed by the Township Engineer, and that landscape requirements are imposed including at least one ornamental tree and other assorted landscape vegetation.

DISCUSSION: None

AYES: ALL

NAYS: None

ABSTAIN: None

DECISION: Motion Carried (5-0)

2. Site Plan Review

a) None

3. Items not requiring a Public Hearing

a) Alexander Trails PUD – Major Amendment Preliminary

Planner Wells introduced this agenda item by saying that Alexander Trails was established and rezoned as a PUD back in 2020, however, construction got delayed due to the COVID-19 pandemic and the increase in material costs. Site Plan Review approval expires within a year if no progress is made, so Alexander Trails essentially became a “ghost” PUD where the rezoning was still in effect, but the Site Plan Review had expired. Both the applicant and staff were originally hoping to bring Alexander Trails back to the Planning Commission as a Site Plan Review, however, there were changes made to the proposed setbacks within the development, hence the need for them to return requesting a Major PUD Amendment. Wells stated that besides the differences in setbacks, the new plan is quite similar to what the Planning Commission had seen and approved previously.

Applicant Mike McGraw of Eastbrook Homes discussed the changes to the site plan and expressed that he believes the new plan is far better. The biggest changes are apparent near the east side of the development and the central area; they replaced 2-story townhome condominiums featuring front-loaded garages with detached terrace homes and reworked some of the green spaces to make them more thoughtful and functional for residents. McGraw stated that this development features a variety of housing types, including front loaded townhomes, ranch options, rear-loaded attached townhomes, and a variety of floor plans for terrace homes. They reworked some of the road designs to make the view when entering the main road more open and inviting. McGraw also highlighted that there will be a fully paved ADA compliant walking path around the entire development and pedestrian connection points throughout. While the unit count is similar to what it was previously, McGraw stated that this submission features more variety in housing types, more duplexes, and less two-, four-, and six-unit buildings. He also stated that they would like to implement hiking trails in the wooded areas.

Commissioner Wiersema inquired about whether there are any attached terrace homes, to which McGraw responded that no, these terrace homes are longer and narrower which provide the advantage of having more space between the garage and the unit itself, which provides residents with more outdoor space.

Wiersema then highlighted that with Plaster Creek running through this area, it’s one of the main watersheds in the township. He then inquired about the possibility of a paved nonmotorized path through the development that could potentially provide connectivity to the Dutton area. McGraw responded that this could be problematic since the water level of the creek fluctuates a lot and often floods, which would make maintaining a paved trail particularly difficult in this area, however, a nature trail could be an alternative option that still ensures people can use and enjoy the creek.

Planner Wells chimed in to add that when the time comes for Site Plan Review, this can be discussed in further detail, and the Township Engineer can offer insight on options for the trail. Wells also mentioned that as far as maintenance is concerned, the Township Board would have to weigh in on Township involvement of the trail, and that if the Township wasn’t responsible for maintenance and upkeep, the HOA would then be the responsible party.

Wells went on to say that while it is unlikely that 76th Street will see any improvements in bike facilities anytime soon, it is possible that there could be an opportunity for a bike corridor/ other nonmotorized connections along Breton down the line.

Chair Haagsma inquired about the added density, and McGraw responded that density did increase, alongside the number of detached homes, however, the number of single family platted lots decreased

in this iteration of the design. Haagsma then inquired about the location of the sidewalks in the development and why they are only seen on one side of the road throughout numerous spots in the PUD, and McGraw stated that this was intentional; the layout can get messy when sidewalks cause interruptions and run through the driveways of front-loaded townhomes, however, all public roads have sidewalks on both sides of the road. McGraw added that some residents have expressed disinterest in having sidewalks on their side of the street, and this design choice provides prospective homeowners with an option.

Fire Chief Ken Van Hall expressed that he would prefer there not to be an obstruction in one of the island cul-de-sacs featured in the development, to which McGraw said he'd be willing to work with the Fire Department to ensure that all requirements from their end are met.

Commissioners Wiersema and Billips discussed the differences between the old design and this one, and how details like ponds illustrate the amount of consideration and intentionality that went into this design.

Billips stated that this development is large and a lot to process; McGraw stated that it is intentional, and this will likely be a long-term project, but they need that so they are able to serve a broader spectrum of customers.

Motion: Motion by Waayenberg, supported by Wiersema to grant the applicant Preliminary PUD Amendment approval and allow the applicant to decide when they're ready to return for Site Plan Review and their Public Hearing.

DISCUSSION: None

AYES: ALL

NAYS: None

ABSTAIN: None

DECISION: Motion Carried (5-0)

VII. GENERAL DISCUSSION

Planner Wells stated that the agenda for next month's meeting is already full, and staff is attempting to limit agendas to five items due to the influx of new projects. He added that if things get too backed up, next month there is a possibility for two meetings to be held in order to catch up, but that is ultimately dependent on how many projects come in within the next month.

VIII. ADJOURNMENT

The meeting adjourned at 8:35 PM.

CERTIFICATION:

I hereby certify that the above is a true copy of the minutes from the April 25th, 2024, Planning Commission Meeting of the Gaines Charter Township Planning Commission held at the time and place mentioned above pursuant to the required statutory procedures.

Respectfully submitted,

Lani Thomas,

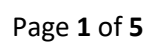
Secretary

Gaines Charter Township Planning Commission

Date: _____, 2024

Meeting Date: May 23rd, 2024

FILE NUMBER: 240401CS



OVERVIEW

The applicant is requesting a Special Use Permit to allow for an additional 3,200 square feet (SF) in accessory buildings to an existing 1,544 SF of accessory buildings, making a total of 4,744 SF of residential accessory buildings on the property.

Based on the zoning ordinance, the property is limited to 1,200 SF of accessory buildings, or 3% of the lot size, which ever is less. In this instance, 3% of the lot size would allot the applicant 3201 SF of accessory buildings, hence the request for a special use permit.

The proposed accessory building addition will be used primarily for personal residential cold storage use; specifically a car, lawn maintenance equipment, and a truck that would otherwise be stored outside.

Surrounding zoning:

	NORTH: Residential (RL-10)	
WEST: Residential (RL-10)	SUBJECT PARCEL	EAST: Residential (RL-10)
	SOUTH: Residential (RL-10)	

STANDARDS OF REVIEW

The request has been reviewed using the applicable review standards of Section 19.8 “General Standards for All Special Land Uses” and the specific standards of Section 20.2 (A) “Accessory Buildings – Standards for Increasing Maximum Floor Area”.

Section 19.8 General Standards for All Special Land Uses

The Planning Commission shall review the particular circumstances and facts of each proposed special use and in addition to the specific standards of consideration stated for each special use type within this Ordinance, and shall be guided in rendering a decision by the following general standards:

- A. *The proposed special use shall be sufficiently designed to maintain adequate provision for the protection of the health, safety, conveniences, and social and economic welfare of those who will use the special use, residents and landowners adjacent to the special use, and the community as a whole.*

Meets standard. The proposed accessory building will be used for residential storage purposes. As proposed, the use and character of the building will not hinder the health, safety, or economic welfare of surrounding properties or landowners.

- B. *The proposed special use shall be consistent with the intent of this Ordinance and the intent of the Master Plan.*

Meets standard. The 2023 Future Land Use Plan designates this parcel as village residential. A request for a detached accessory building is consistent with the Master Plan’s guidance for residential properties and is provided for by the Zoning Ordinance subject to certain standards being met.

If it is determined that the proposed accessory building is consistent with the standards of Section 20.2 (D), then consistency with the zoning ordinance will be achieved.

- C. *The special use shall not create or substantially add to traffic hazards in the area.*

Meets standard. The proposed accessory building is intended to be used for the storage of vehicles and lawn maintenance equipment. As an accessory building set to be utilized for residential storage, the building will not alter traffic patterns in the area.

- D. *Public services and facilities such as roads, police and fire protection, drainage structures, water and sewage facilities or schools, shall be sufficiently extended to the proposed special use such that load capacities are not exceeded.*

Meets standard. As a residential accessory building, staff does not anticipate any impacts on roads, police and fire protection, drainage structures, water or sewage facilities, or schools. The applicant intends to install a driveway that will be approximately 411 feet in length, which is subject to review by the Fire Chief. The applicant has been made aware that the driveway is required to be at least 12 feet wide in order to comply with fire code.

- E. *The proposed special use shall not set precedents for development which could adversely affect the long-term plans or policies of the Township.*

Undetermined. Accessory buildings are typical in suburban areas of the township; several surrounding lots have accessory buildings varying in size, however, the footprint of surrounding accessory buildings do not appear to be as large as the one being proposed in this request.

If the Planning Commission determines that the proposed accessory building meets the standards of Section 20.2 (D), the proposed special use will not set precedents for development that adversely impact the long-term plans or policies of the Township.

- F. *The proposed special use shall not have significant adverse environmental, ecological or natural resource impacts.*

Meets standard. The accessory building is not anticipated to have any impact on the environment and natural resources.

- G. *The proposed special use shall not have significant adverse impacts upon adjoining properties or uses.*

Meets standard. The proposed accessory building addition will be located in the rear yard and all minimum setback distance requirements are met.

Section 20.2(D).4: Accessory Buildings – Standards for Increasing Maximum Floor Area

In considering a special use permit for an accessory building exceeding the maximum floor area, the Planning Commission shall consider the standards stated in Chapter 19 and the following additional standards:

- A. *The intended use for the Building.*

Meets standard. The proposed accessory building will be used for residential storage purposes and will be secondary to a primary residential use.

- B. The size, proposed location, type and kind of construction and general architectural character of the Building.*

Regulation	Required Setback	Proposed
Distance from Primary Building	10 Feet	Ca. 320 Feet
Front Yard Setback	N/A	Ca. 411 Feet
Side Yard Setback	8 Feet	10 Feet
Rear Yard Setback	3 Feet	5 Feet
Maximum Building Height	20 Feet	17 Feet

Meets standard. The setback and height requirements for the building have been meet. The applicant has stated that the height of the building is set to be 17 feet tall and will be of pole barn construction. The accessory building will have three garage doors to accommodate the vehicles planned to be parked inside of it.

- C. The type and kind of principal and Accessory Buildings and Structures located on properties in the same neighborhood.*

Undetermined. There are several accessory buildings in the surrounding neighborhoods that are all of varying sizes. The property directly to the east of the subject parcel, which is also owned by the applicant, has a similarly sized historic wood barn. Aside from the wood barn, most accessory buildings in the area seem to be much smaller than what is being proposed in this request. The visual impact of this building seems to be greater than that of accessory buildings on surrounding properties, however, it is planned to be located in the rear of the parcel, which will assist in lessening the visual impact from 68th Street. From the west, the building will be visible from the parking lot it is planned to be adjacent to. The visual impact could also be heightened for residents to the south, specifically the home at the farthest end of Crystalline Court. If approved, the Planning Commission could require additional screening to assist in lessening the visual impact of the building for residents on Crystalline Court.

- D. Whether the Building will affect the light and air circulation or views of any adjoining properties.*

Meets standard. The proposed building is not anticipated to affect light or air circulation on surrounding properties.

- E. The reason why the applicant has requested an Accessory Building in excess of the maximum floor area.*

Meets standard. The applicant desires additional square footage for residential storage purposes. The accessory building will not be utilized for commercial purposes.

- F. The extent the Building absorbs required yards and other open spaces.*

Meets standard. The total requested square footage of accessory building coverage is less than 2% of the total lot size.

STAFF RECOMMENDATION

Staff recommends approval of the Special Use Permit with the following conditions of approval:

1. The accessory building shall not be utilized for commercial purposes.



FILE NO.

240401 CS

8555 Kalamazoo Avenue SE • Caledonia MI 49316
Ph: 616 698-6640 • Fax: 616 698-2490
www.gainestownship.org

Special Use Permit Application

Project Address	1470 68th street SE GR. mi. 49508		
Owner Name	chad schaaP		
Owner Address	Street Address	City, State, Zip	
	1470 68th street SE	Grand Rapids, Michigan 49508	
Parcel Number(s):	41-22-08-226-013	41-22-	
Description of Proposed Project/Use	40' x 80' x 14' Pole Barn used For cold storage		

Applicant/Contact	chad schaaP		
Applicant/Contact Address	Street Address	City, State, Zip	
	1470 68th street SE	Grand Rapids, Michigan 49508	
Contact Info	Home / Office / Cell	E-Mail	
	616-446-5222 wk 616-554-0040	Quality Ser. chad@gmail.com	
<i>"I" hereby certify to the correctness and knowledge of the information submitted and hereby agree to comply with the terms and requirements of all applicable Township ordinances. I also grant Township staff permission to enter onto the subject property in review of this application.</i>			
Signature			
Please complete the appropriate Worksheet as part of your application packet (see Staff for more information) for: Planning Commission, Zoning Board of Appeals requests, Land Divisions, Combinations or Lot Line Adjustments.			

Township Use Only

Current Zoning District:	RL-14	RL-10	R-3	R-4	C-1	C-2	O-S	I-1	I-2	PUD	A-R	A-B
One / Two Family Construction ☐	Zoning Board of Appeals ☐		Planning Commission ☐		Land Combination ☐							
Site Plan Review ☐	Rezoning / PUD Rezoning ☐		PUD Amendment ☐		Land Division ☐							
Subdivision / Site Condo Review ☐			Special Use Permit ☐		Lot Line Adjustment ☐							
Other:												
Approved ☐	Approved with Conditions ☐		Denied ☐		Withdrawn ☐							
Zoning Administrator:										Date:		

Applicant Response to General Standards of Review

Special Land Uses are those that have been identified as uses requiring special consideration based upon their potential effect on the adjacent area. Special regulation of these uses is necessary to protect and preserve the quality of the Township's residential and commercial neighborhoods and not all locations are appropriate for all special uses. The proposed location, the site design and layout of the use, the size and magnitude of the use and hours of operation may all be important considerations.

1. How much traffic, what kind of traffic and at what times of the day and or week will traffic be generated by the proposed use.

No change in traffic Just my car and
pickup truck in cold storage and all lawn
Equipment to maintain properties 10 acres of land
to maintain

2. Will the use or activity generate any noise, dust, odor, light or other emissions? If so what type and how frequently.

None lights inside of building and
2 outside lights for security

3. In addition to the above, describe any other the activities or characteristics associated with the building(s) and use and what measures will be taken in the location design, and operation of the use to keep the use, building or activity in harmony with neighboring properties and avoid the imposition of adverse impacts on them and the community.

this property will be kept mowed and
trimmed and Edged. more trees will be planted
and also Landscaped. Pole barn will also
match the House.

4. Describe how the proposed special use will avoid the creation of adverse environmental, ecological or natural resource impacts.

None cold storage



V01 PERSPECTIVE VIEW 1 : MAESTRO
SCALE: -0"

3D VIEW / COVER SHEET

42 PARALLEL CONSTRUCTION

VIEW TYPE KEY	
ID	TITLE
A-#	PAGE NUMBER
P##	PLAN VIEW
V##	3D PERSPECTIVE VIEW
E##	ELEVATION VIEW
S##	SECTION VIEW
D##	DETAIL DRAWING
L##	LAYOUT DRAWING
H##	SCHEDULE

CHAD SCHAPP PROJECT	
LABEL	TITLE
A-1	3D VIEW / COVER SHEET
A-2	ELEVATIONS
A-3	POST LAYOUT
A-4	FLOOR PLAN
A-5	TYP. CROSS SECTION AND DETAILS
A-6	TYP. CROSS SECTION AND DETAILS
A-7	PROPERTY SITE PLAN

A-1	SHEET NO.:	DATE:	3/28/2024	DRAWN BY: LANCIE VOORHEES	PROPOSED PROJECT FOR: CHAD SCHAPP ATTN : CHAD SCHAPP 1570 68TH STREET GRAND RAPIDS, MICHIGAN 49508 PHONE : (616) 534-0040 E-MAIL : qualityser.chad@gmail.com

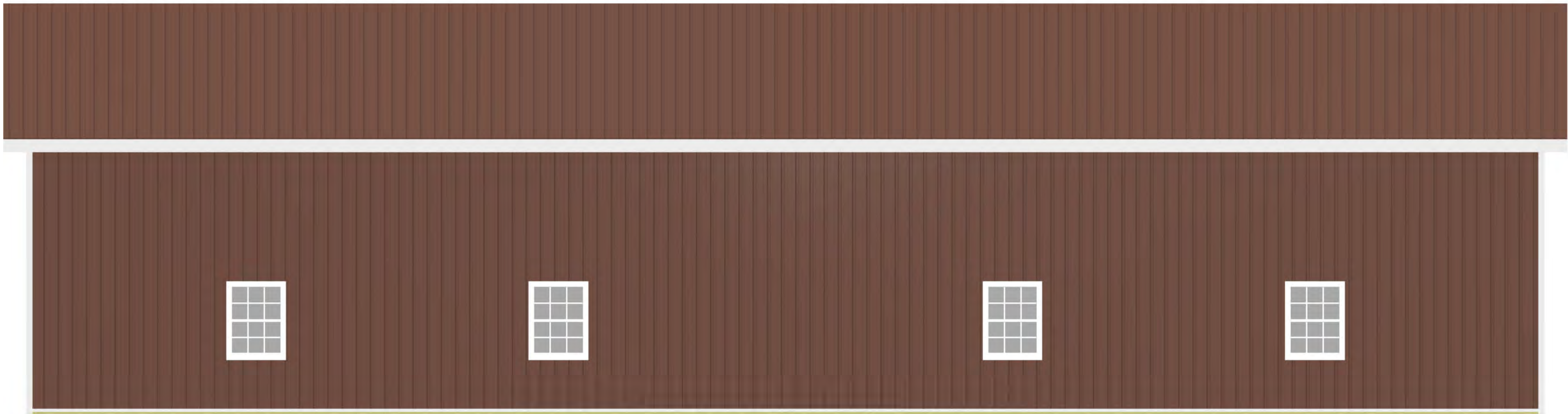
9811 THOMPSON ROAD
LAKE ODESSA, MICHIGAN 48849
TOLL FREE : (800) 693-2754
PHONE : (616) 693-2754
FAX : (616) 693-2930



E01 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



E02 WEST ELEVATION
SCALE: 1/4" = 1'-0"



E03 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



E04 EAST ELEVATION
SCALE: 1/4" = 1'-0"

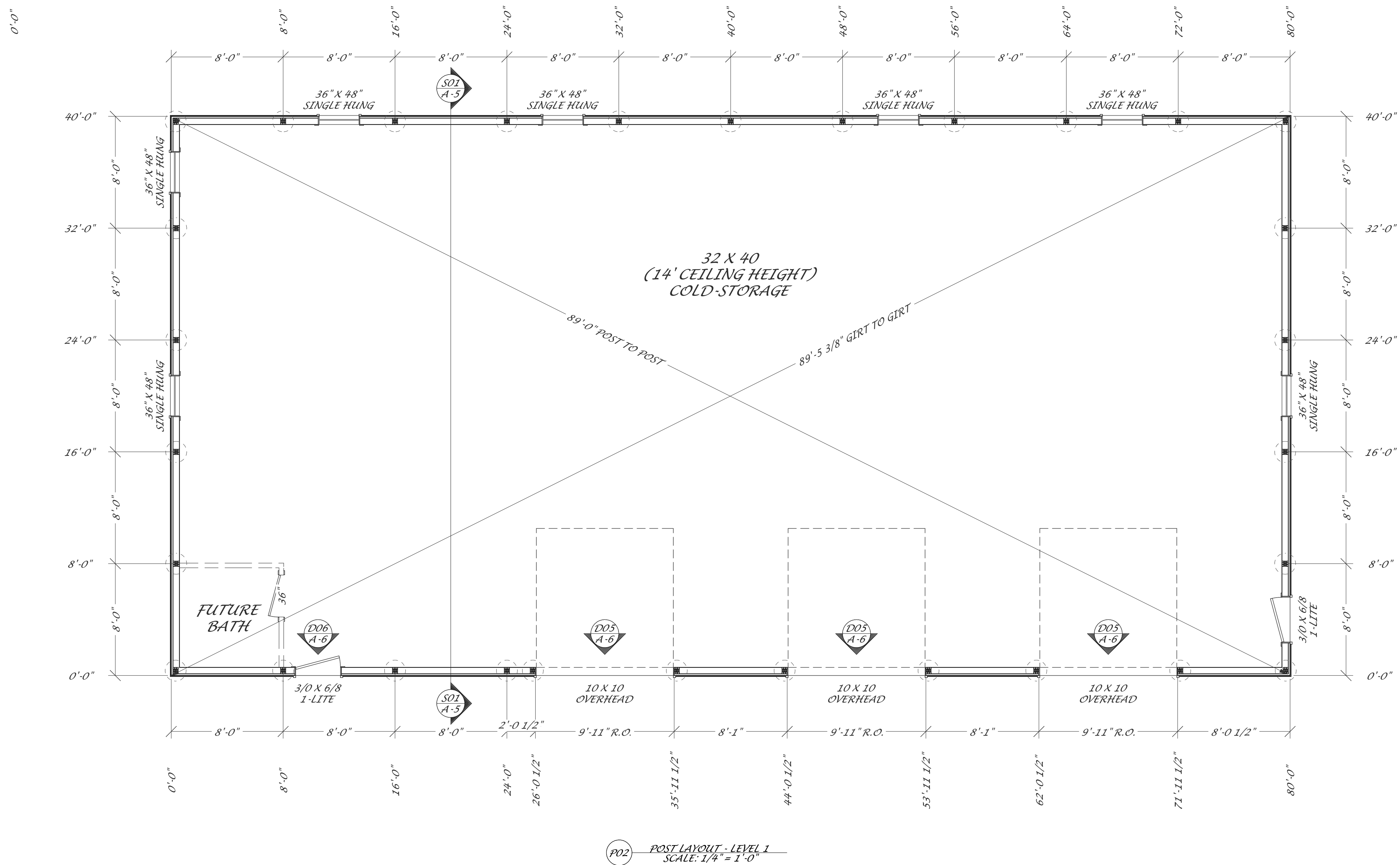
ELEVATIONS

42 PARALLEL CONSTRUCTION

9811 THOMPSON ROAD
LAKE ODESSA, MICHIGAN 48849
TOLL FREE : (800) 693-2754
PHONE : (616) 693-2754
FAX : (616) 693-2930

PROPOSED PROJECT FOR:
CHAD SCHAPP
ATTN : CHAD SCHAPP
1570 68TH STREET
GRAND RAPIDS, MICHIGAN 49508
PHONE : (616) 554-0040 E-MAIL : qualityser.chad@gmail.com

SHEET NO.:
A-2
DATE:
3/28/2024
DRAWN BY:
LANCE
VOORHEES



POST LAYOUT

42 PARALLEL CONSTRUCTION

9811 THOMPSON ROAD
LAKE ODESSA, MICHIGAN 48849
TOLL FREE : (800) 693-2754
PHONE : (616) 693-2754
FAX : (616) 693-2930

PROPOSED PROJECT FOR:

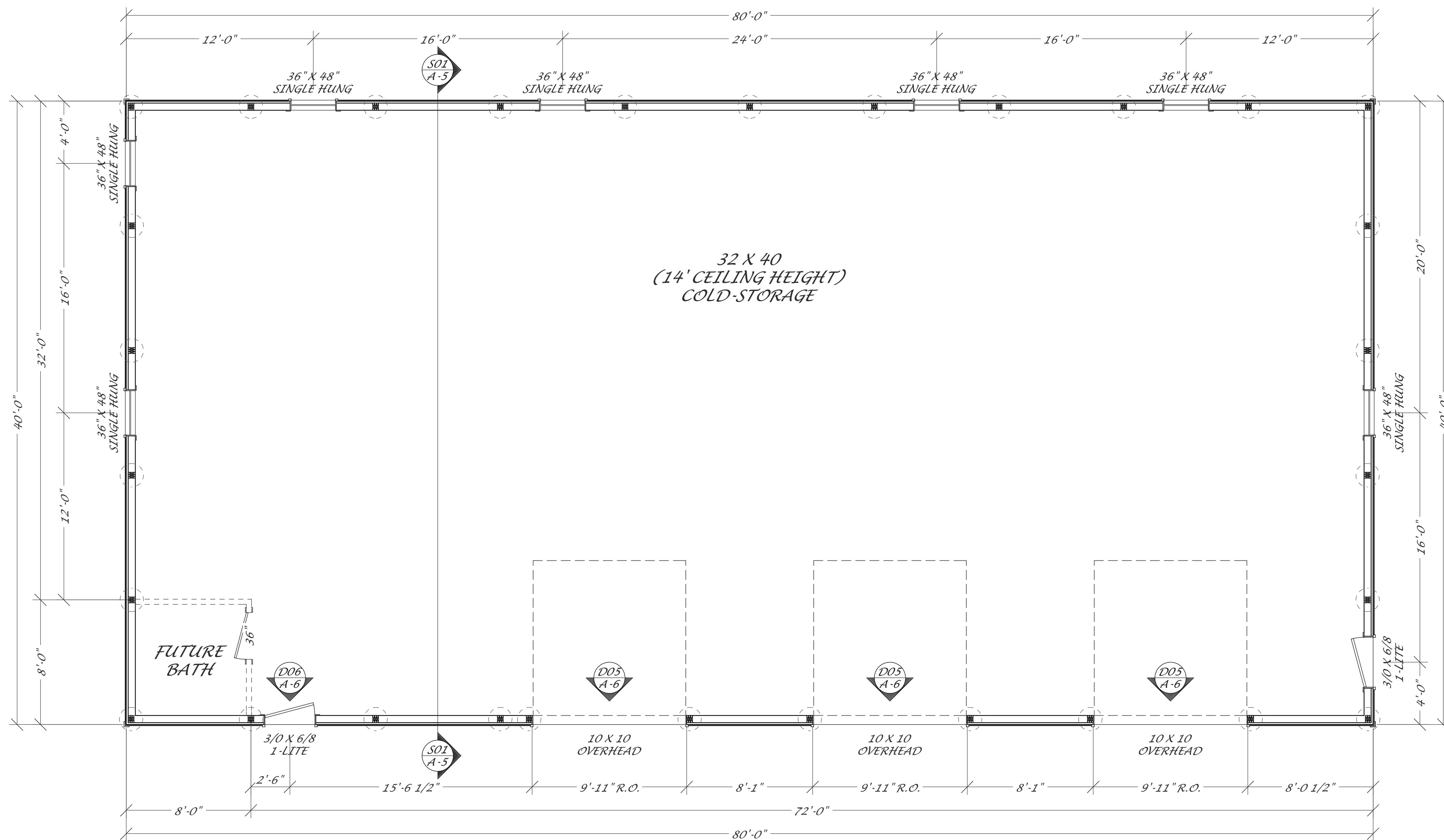
CHAD SCHAPP

ATTN : CHAD SCHAPP
1570 68TH STREET
GRAND RAPIDS, MICHIGAN 49508
PHONE : (616) 554-0040 E-MAIL : qualityser.chad@gmail.com

DRAWN BY:
LANCE
VOORHEES

DATE:
3/28/2024

SHEET NO.:
A-3



P03 FLOOR PLAN - LEVEL 1
SCALE: 1/4" = 1'-0"

FLOOR PLAN

42 PARALLEL CONSTRUCTION

9811 THOMPSON ROAD
LAKE ODESSA, MICHIGAN 48849
TOLL FREE : (800) 693-2754
PHONE : (616) 693-2754
FAX : (616) 693-2930

PROPOSED PROJECT FOR:

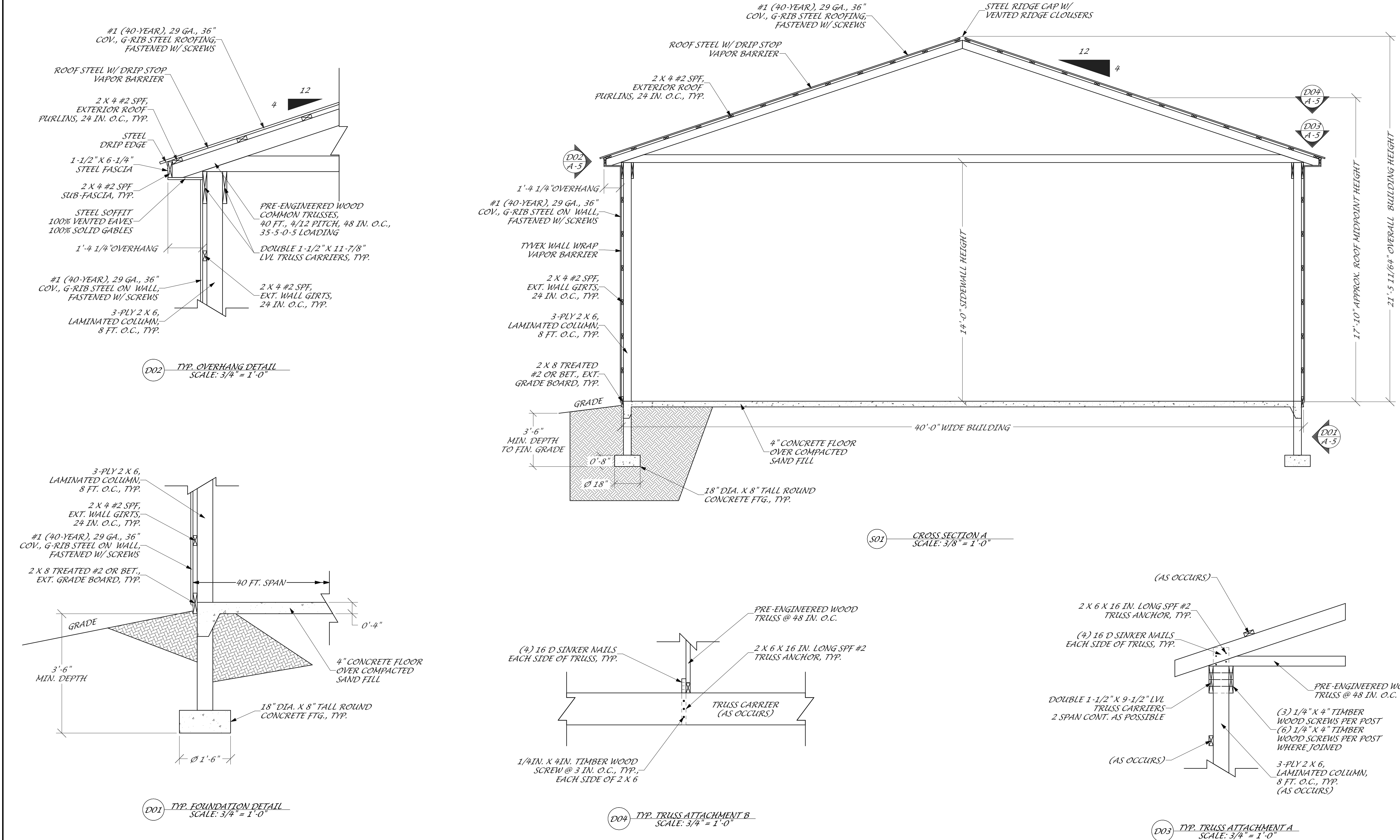
CHAD SCHAPP

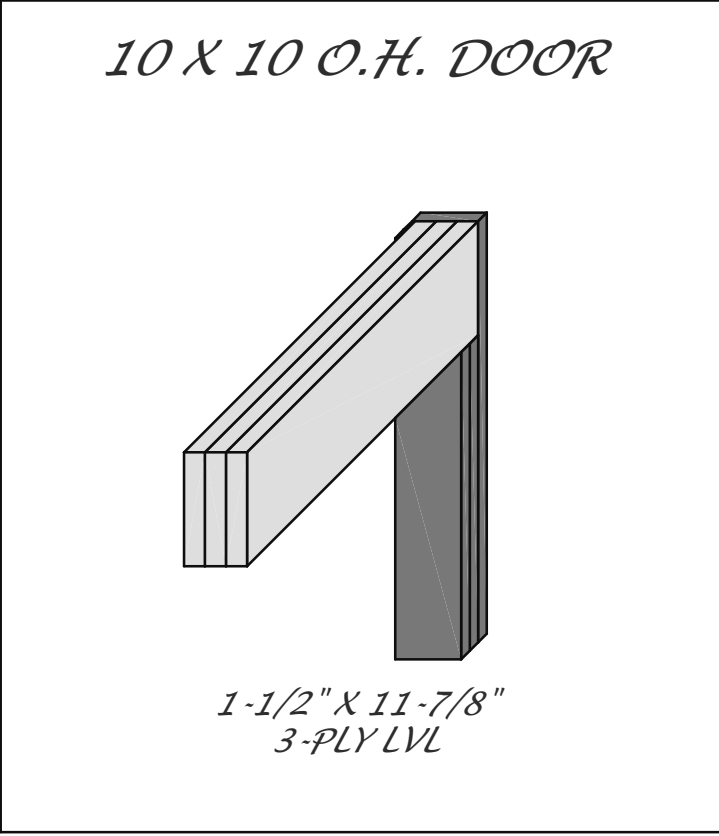
ATTN : CHAD SCHAPP
1570 68TH STREET
GRAND RAPIDS, MICHIGAN 49508
PHONE : (616) 554-0040 E-MAIL : qualityser.chad@gmail.com

DRAWN BY:
LANCE
VOORHEES

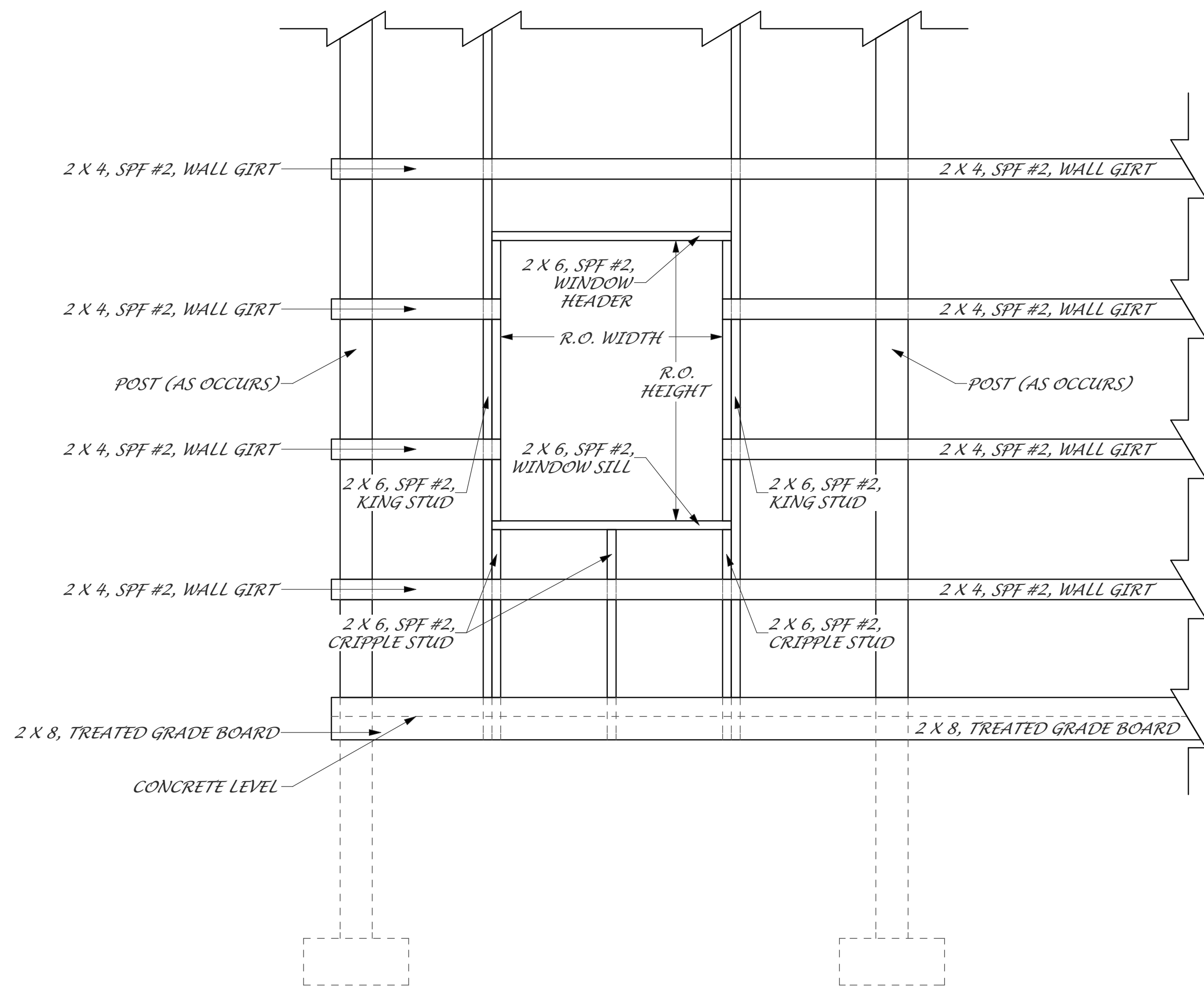
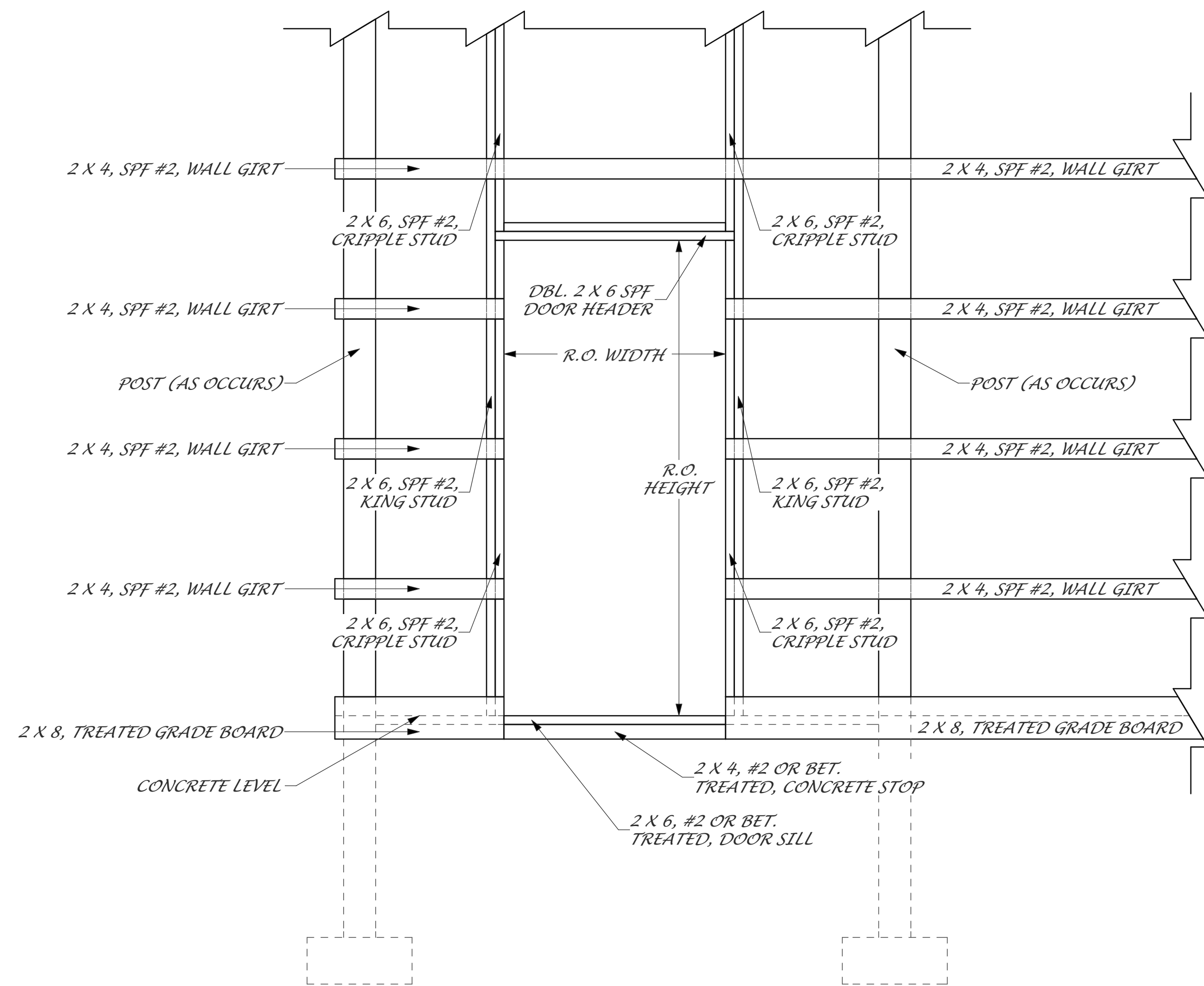
DATE:
3/28/2024

SHEET NO:
A-4





D05 OVERHEAD DOOR HEADER
SCALE: 3/4" = 1'-0"



D06 TYP. ENTRY DOOR / WIND FRAMING
SCALE: 3/4" = 1'-0"

TYP. CROSS SECTION AND DETAILS

42 PARALLEL CONSTRUCTION

9811 THOMPSON ROAD
LAKE ODESSA, MICHIGAN 48849
TOLL FREE : (800) 693-2754
PHONE : (616) 693-2754
FAX : (616) 693-2930

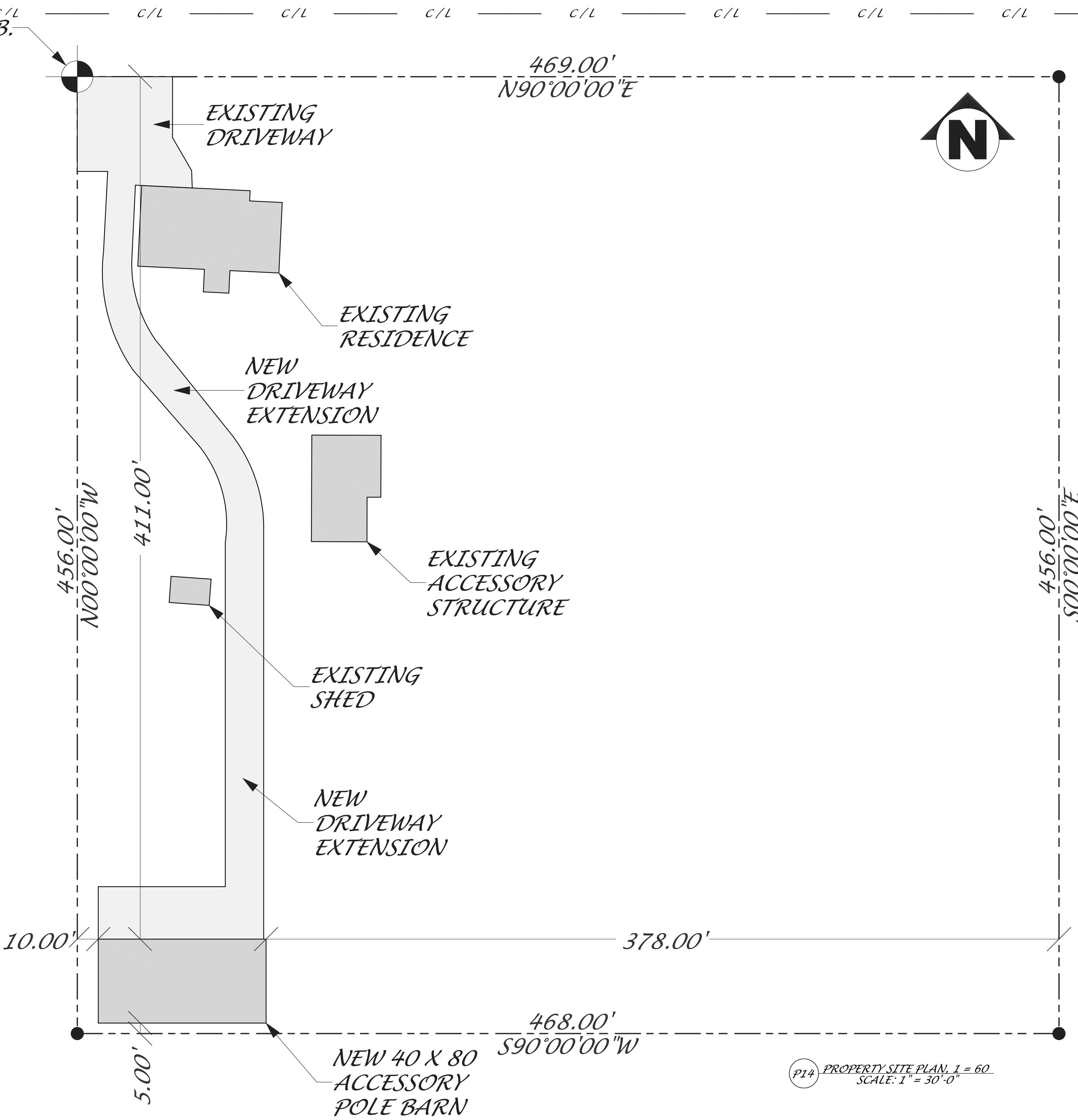
PROPOSED PROJECT FOR:
CHAD SCHAPP
ATTN : CHAD SCHAPP
1570 68TH STREET
GRAND RAPIDS, MICHIGAN 49508
PHONE : (616) 554-0040 E-MAIL : qualityser.chad@gmail.com

SHEET NO.:
4-6
DATE:
3/28/2024
DRAWN BY:
LANCE
VOORHEES

68TH STREET

- PROPERTY SPECS -

OWNER : CHAD R. SCHAAP
ADDRESS : 1470 68TH STREET
JURISDICTION : GAINES CHARTER TOWNSHIP
COUNTY : KENT COUNTY
TAX ID # : 41-22-08-226-013
ZONING CODE : (RL-10) RESIDENTIAL
ACREAGE : 4.902 ACRES



P14 PROPERTY SITE PLAN, 1 = 60.
SCALE: 1" = 30'-0"

PROPERTY SITE PLAN

42 PARALLEL CONSTRUCTION

9811 THOMPSON ROAD
LAKE ODESSA, MICHIGAN 48849
TOLL FREE : (800) 693-2754
PHONE : (616) 693-2754
FAX : (616) 693-2930

PROPOSED PROJECT FOR:
CHAD SCHAPP
ATTN : CHAD SCHAPP
1570 68TH STREET
GRAND RAPIDS, MICHIGAN 49508
PHONE : (616) 554-0040 E-MAIL : qualityser.chad@gmail.com

SHEET NO.:
DATE:
DRAWN BY:
LANCE
VOORHEES
A-7

Gaines Charter Township

Planning Commission Memo

Meeting Date: May 23rd, 2024

AGENDA ITEM: VI.1.b

PROPOSED REQUEST: Special Use Permit

ADDRESS: 7376 and 7382 Hanna Lake Avenue

PARCEL NUMBER: 41-22-11-301-003 & -011

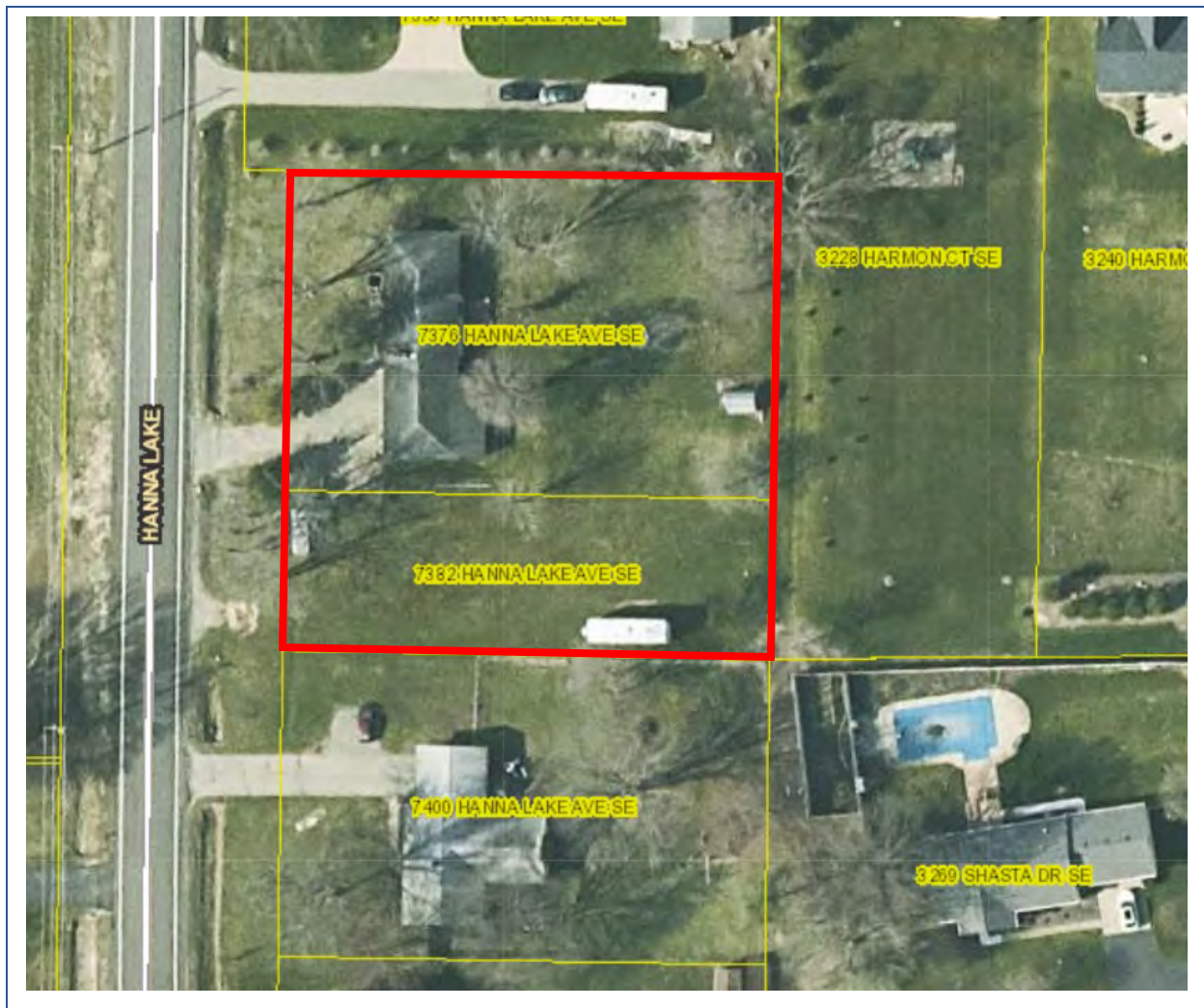
FILE NUMBER: 240415RK

APPLICANT: Rex Kogler

PROPERTY ZONING DISTRICT: Single Family Residential (RL-14)

PROPERTY SIZE: 0.75 Acres

REPORT BY: Dakota Swan, Assistant Planner



OVERVIEW

The applicant is requesting a Special Use Permit to allow for 2,048 square feet (SF) in accessory buildings to construct a 32' x 64' pole barn. There is a small shed existing on the property that is approximately 90 SF.

It is worth noting that the applicant did a parcel combination and added the parcel directly to the south (41-22-11-301-011) to the parcel cited in this Special Use Permit request, which was approved by the Township Board at the May 13th regular meeting. This grants the applicant an extra 0.25 acres of land which will be used to inform this report and associated calculations within.

Based on the zoning ordinance, the property is limited to 1,200 SF of accessory buildings, or 1.5% of the lot size, which ever is less. In this instance, 1.5% of the lot size limits the applicant to approximately 494 SF, thus the request for a special use permit.

The proposed accessory building is intended to be used primarily for personal residential storage use.

Surrounding zoning:

	NORTH: Single Family Residential (RL-14)	
WEST: Single Family Residential (RL-14)	SUBJECT PARCEL	EAST: Single Family Residential (RL-14)
	SOUTH: Single Family Residential (RL-14)	

STANDARDS OF REVIEW

The request has been reviewed using the applicable review standards of Section 19.8 "General Standards for All Special Land Uses" and the specific standards of Section 20.2 (A) "Accessory Buildings – Standards for Increasing Maximum Floor Area".

Section 19.8 General Standards for All Special Land Uses

The Planning Commission shall review the particular circumstances and facts of each proposed special use and in addition to the specific standards of consideration stated for each special use type within this Ordinance, and shall be guided in rendering a decision by the following general standards:

- A. *The proposed special use shall be sufficiently designed to maintain adequate provision for the protection of the health, safety, conveniences, and social and economic welfare of those who will use the special use, residents and landowners adjacent to the special use, and the community as a whole.***

Meets standard. The proposed accessory building will be used for residential storage purposes. As proposed, the use and character of the building will not hinder the health, safety, or economic welfare of surrounding properties or landowners.

- B. *The proposed special use shall be consistent with the intent of this Ordinance and the intent of the Master Plan.***

Meets standard. Residential accessory buildings greater than 1,200 SF are permitted in RL-14 with a special use permit. If the Planning Commission finds that the proposed accessory building is consistent with the standards of Section 20.2 (D), then consistency with the zoning ordinance will be achieved.

C. *The special use shall not create or substantially add to traffic hazards in the area.*

Meets standard. As an accessory building set to be utilized for residential storage, it is not anticipated that traffic will be affected.

D. *Public services and facilities such as roads, police and fire protection, drainage structures, water and sewage facilities or schools, shall be sufficiently extended to the proposed special use such that load capacities are not exceeded.*

Meets standard. As a residential accessory building, staff does not anticipate any impacts on roads, police and fire protection, drainage structures, water or sewage facilities, or schools.

E. *The proposed special use shall not set precedents for development which could adversely affect the long-term plans or policies of the Township.*

Undetermined. Accessory buildings of this scale are typical in rural areas of the township, however, this parcel is in a part of the township that is residential in nature. There are no accessory buildings of this scale in the immediate area greater than 1,000 SF. Staff encourages the Planning Commission to decide whether this special use would set precedence for development that would negatively impact surrounding properties.

F. *The proposed special use shall not have significant adverse environmental, ecological or natural resource impacts.*

Meets standard. The accessory building is not anticipated to have any impact on the environment and natural resources.

G. *The proposed special use shall not have significant adverse impacts upon adjoining properties or uses.*

Undetermined. The proposed accessory building addition will be located in the rear yard, and all setbacks will be met. The only impact it would have would be visual due to it's relatively large size.

The Planning Commission will have to determine if the accessory building would have adverse impacts on surrounding properties.

Section 20.2(D).4: Accessory Buildings – Standards for Increasing Maximum Floor Area

In considering a special use permit for an accessory building exceeding the maximum floor area, the Planning Commission shall consider the standards stated in Chapter 19 and the following additional standards:

A. The intended use for the Building.

Meets standard. The proposed accessory building will be used for residential storage purposes and will be secondary to a primary residential use. The applicant stated that the building will specifically be used for storage of tools, gardening supplies, and an RV.

B. The size, proposed location, type and kind of construction and general architectural character of the Building.

Regulation	Required Setback	Proposed
Distance from Primary Building	10 Feet	Ca. 60 Feet
Front Yard Setback	N/A	Ca. 105 Feet
Side Yard Setback	3 Feet	6 Feet
Rear Yard Setback	0 Feet	12 Feet
Maximum Building Height	16 Feet	**No height indicated on site plan

Meets standard. The building addition will be of pole barn construction with steel siding. The setback and height requirements for the building have been met. The height however is not detailed. The building will have to comply with RL-14 building standards which can be reviewed when a building permit is requested.

C. The type and kind of principal and Accessory Buildings and Structures located on properties in the same neighborhood.

Undetermined. Several adjacent properties have accessory buildings or sheds, however, there are none that are as large as the one being proposed in the immediate area. The property directly to the north has a larger accessory building, but it's a little more than half of the size of the building that's being proposed. The use for residential storage is consistent with other accessory buildings in the area.

D. Whether the Building will affect the light and air circulation or views of any adjoining properties.

Meets standard. The proposed building is not anticipated to affect light or air circulation on surrounding properties.

E. The reason why the applicant has requested an Accessory Building in excess of the maximum floor area.

Meets standard. The applicant desires additional square footage for residential storage purposes. The accessory building will not be utilized for commercial purposes. Arguably the biggest reason for requesting to exceed the maximum floor area is because the applicant intends to store a recreational vehicle inside of the accessory building, in addition to gardening tools and lawncare materials.

F. The extent the Building absorbs required yards and other open spaces.

Undetermined. The total requested square footage of accessory building coverage is just under 6.5% of the total lot size. Staff encourages the Planning Commission to debate whether this accessory building would absorb an excess amount of yard/ open space on the property and if this size accessory building is appropriate for/ consistent with the intent of both the current zoning and future zoning of this parcel, as indicated on the Future Land Use Map.

STAFF RECOMMENDATION

Staff recommends the Planning Commission determine if the scale of the proposed building is appropriate for the area, and make a decision to approve or deny the application.



FILE NO.

240415RK

8555 Kalamazoo Avenue SE • Caledonia MI 49316
Ph: 616 698-6640 • Fax: 616 698-2490
www.gainestownship.org

Special Use Permit Application

Project Address	7376 Hanna Lake Ave		
Owner Name	Rex Kogler		
Owner Address	Street Address	City, State, Zip	
	7376 Hanna Lake Ave	Caledonia MI 49316	
Parcel Number(s):	41-22-11-301-003	41-22-11-301-003	
Description of Proposed Project/Use	Erect Pole Barn 32'x64' For Storage of Personal tools, equipment, RV and Misc. lawn & Garden tools		

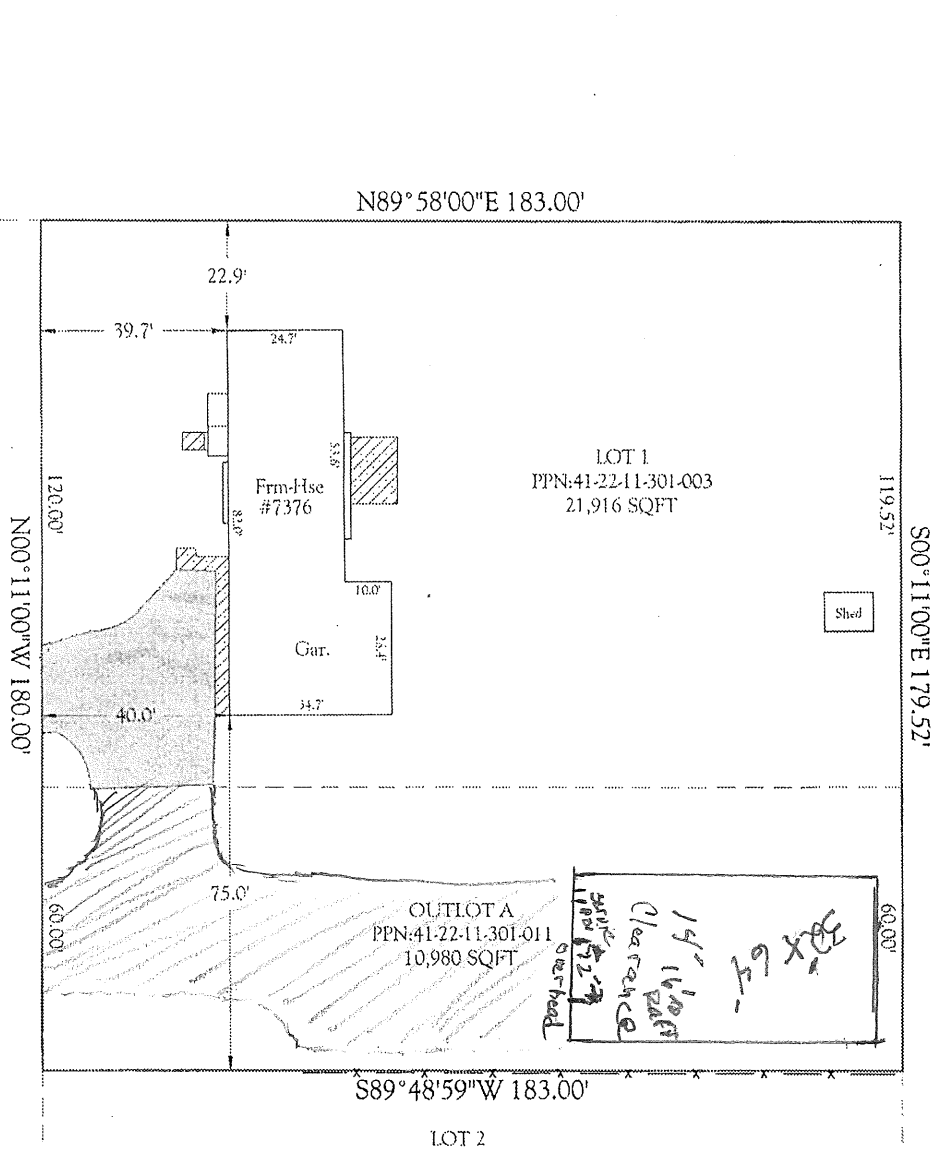
Applicant/Contact	Rex Kogler		
Applicant/Contact Address	Street Address	City, State, Zip	
	7376 Hanna Lake Ave	Caledonia MI 49316	
Contact Info	Home / Office / Cell	E-Mail	
	616 813 0373	thekoglers@gmail.com	

"I" hereby certify to the correctness and knowledge of the information submitted and hereby agree to comply with the terms and requirements of all applicable Township ordinances. I also grant Township staff permission to enter onto the subject property in review of this application.

Signature	
Please complete the appropriate Worksheet as part of your application packet (see Staff for more information) for: Planning Commission, Zoning Board of Appeals requests, Land Divisions, Combinations or Lot Line Adjustments.	

Township Use Only

Current Zoning District:	<u>RL-14</u>	RL-10	R-3	R-4	C-1	C-2	O-S	I-1	I-2	PUD	A-R	A-B
One / Two Family Construction	☐	Zoning Board of Appeals	☐	Planning Commission	☐	Land Combination	☐					
Site Plan Review	☐	Rezoning / PUD Rezoning	☐	PUD Amendment	☐	Land Division	☐					
Subdivision / Site Condo Review	☐	Special Use Permit	☒	Lot Line Adjustment	☐							
Other:												
Approved	☐	Approved with Conditions	☐	Denied	☐	Withdrawn	☐					
Zoning Administrator:										Date:		



Scale 1" = 40'

▨ = Concrete

▩ = Asphalt

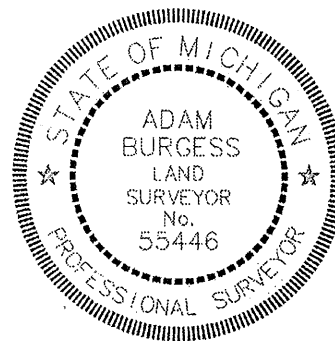
D = Description dimension

M = Measured dimension

P = Platted dimension

● = Set iron stake

○ = Found iron stake



By: *Adam C. Burgess*

Adam C. Burgess, Licensed Professional Surveyor No. 55446

ICL 54.213 have been met. The ad for this survey and shown on tice of professional surveying.

This drawing was made from the description shown above. The description should be compared with the Abstract of Title or Title Policy for accuracy, easements and exceptions.

Gaines Charter Township

Planning Commission Memo

Meeting Date: May 23rd, 2024

AGENDA ITEM: VI.1.c

PROPOSED REQUEST: Alexander Trails Planned
Unit Development Amendment – Site Plan

ADDRESSES: 2701 & 2451 76th Street

PARCEL NUMBERS: 41-22-10-300-009 &
41-22-10-300-019

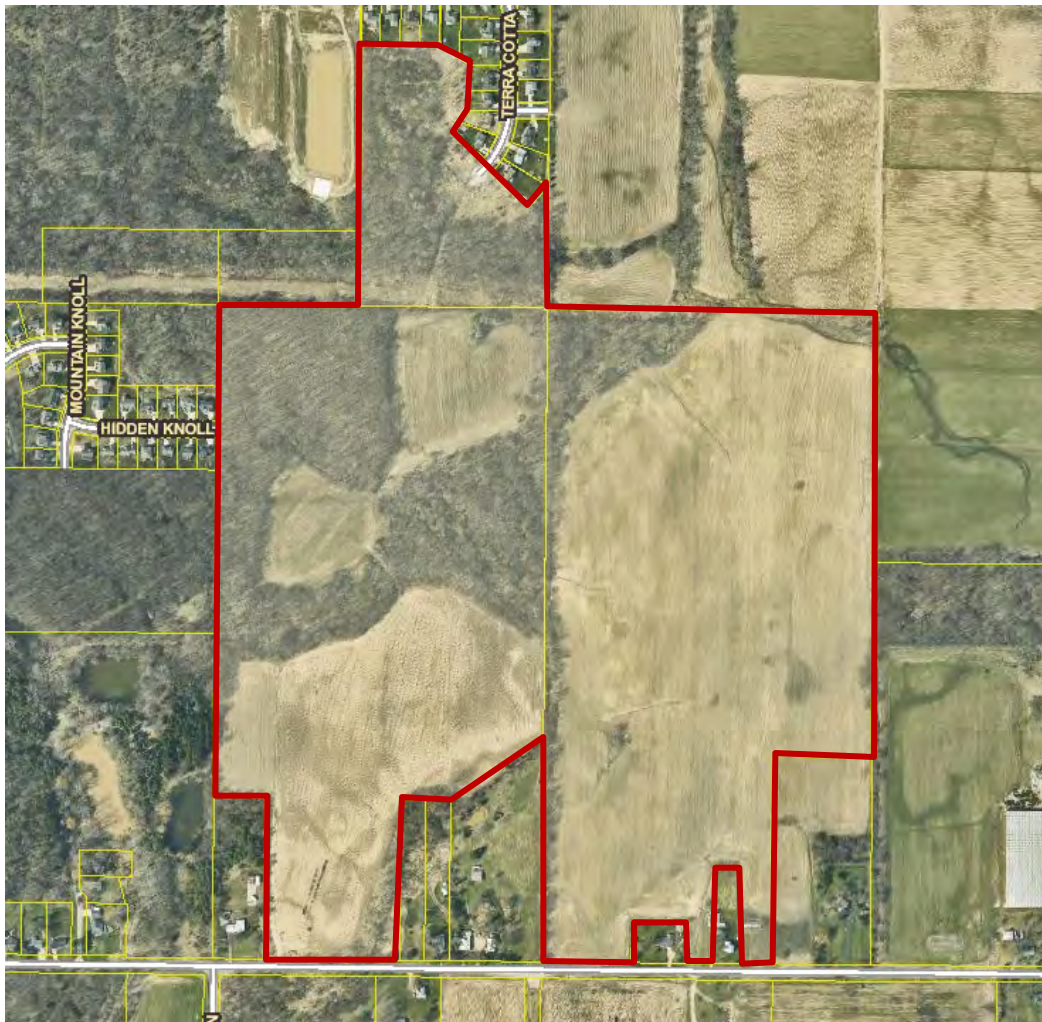
APPLICANT: Michael McGraw, Signature Land
Development/Eastbrook Homes

FILE NUMBER: 240229MM

PROPERTY ZONING DISTRICT: PUD

PROPERTY SIZE: 149.2 Acres

REPORT BY: Dan Wells, Community
Development Director



OVERVIEW

The applicant requests a new site plan review for the Alexander Trails Planned Unit Development (PUD), which was approved August 10th of 2020, but wasn't initiated nor extended in time to maintain validity for the site plan, plats, or site condominium approvals. Signature Land Development Corporation (AKA Eastbrook Homes) is now ready to initiate the land development process. A revised set of plans (dated 5/14/2024) has been submitted after Planning Commission input at the preliminary PUD hearing on April 25th.

The PUD was approved in 2020 but there have been some modifications to the setbacks under the new plan, so a major amendment is required. The preliminary site condominium, and tentative preliminary plats for Phases 1 & 2 all need to be considered, and each will be covered under separate actions by the Planning Commission and Township Board after the development standards are set by the PUD site plan.

The project generally retains its original street layout with three neighborhoods separated by greenways along Plaster Creek as approved in 2020. Several changes are notable, including integration of "terrace" housing along the eastern side of the plan rather than just townhouses, and adding a cluster of townhouses in the central area.

The overall project features 404 single-family homes including:

- 190 platted detached homes,
- 40 condominium detached homes with detached garages (AKA "terrace" homes),
- 66 condominium attached single-story "ranch" homes,
- 108 condominium two-story attached homes (townhomes).

The plan includes 16.7 miles of roads (11.7 miles public and 5 miles private), and 49.9 acres of open space (approximately one-third of the overall area, but includes wetland and stormwater retention basin area acreage). Seven open space park activity areas have been identified, and a trail system runs along the greenways adjacent to Plaster Creek.

This preliminary review is for initial acceptance of the overall development concept but does not consider detailed engineering design or final details.

Surrounding zoning:

	NORTH: PUD/RL-14	
WEST: PUD/RL-14	SUBJECT PARCELS	EAST: RL-14
	SOUTH: 76 th Street/A-R	

PROCESS

Review of the PUD amendment application is subject to the following process:

1. Preliminary PUD plan review and Planning Commission approval based on Section 11.1 (April 25th, 2024)

2. Final PUD plan review based on Section 25.3 and a public hearing held by the Planning Commission (TBD)
3. Recommendation concerning the final PUD plan and rezoning by the Planning Commission through a resolution and draft ordinance. (TBD)
4. Review by the Township Board at first reading. (TBD)
5. Review, public hearing, and approval of the final PUD plan and rezoning by the Township Board at second reading. (TBD)

SUBMITTAL REQUIREMENTS

The applicant provided a complete application with fees. A preliminary PUD plan was provided, along with a narrative concerning the project. Additionally, proposed building elevations were provided for review. The applicant has primarily satisfied the requirements of Section 10.5 Preliminary Plan - Submittal Requirements.

PUD STANDARDS OF REVIEW

The preliminary PUD request has been reviewed using the applicable review standards of Section 11.1, "Planned Unit Development - General Review Standards", Section 10.6 "Final Plan Submittal Requirements", and Chapter 25 "Site Plan Review". Additional information is included over the following pages concerning review considerations and standards.

Section 11.1 Planned Unit Development - General Review Standards

A. Consistency with Master Plan and Zoning Ordinance: The Planned Unit Development must further the goals and objectives of the Township Master Plan and must be consistent with it. It must also be consistent with the intent and purpose of this Zoning Ordinance.

Meets standard. The parcel is currently zoned Planned Unit Development. The current site plan is close to the plan approved in 2020 except that some of the setbacks have been modified.

The Future Land Use Plan designates 1451 and 2701 76th Street as Suburban Residential, and 7110 Terra Cotta as Village Residential. From the Master Plan:

The Suburban Residential area is intended primarily for single family home development, both platted and unplatted, and minimum lot size should continue in the traditional scale of about 1-5 homes per acre.

The Village Residential is intended for residential uses just as the Suburban Residential area, but at moderately higher densities and incorporating two-family and multi-unit connected townhomes along with single family houses so that a neighborhood with mixed housing options is created. The Village Residential area is intended primarily for single family home development, both platted and unplatted, and may serve as a buffer between Suburban Residential and a variety of commercial or high density residential.

The layout of the PUD generally meets these land use goals with single family detached home use across all parcels. Overall net density is 3.12 but varies across the development with neighborhoods of specific housing types, so the plan provides a diversity of housing types and home sizes. The deviations from the

Suburban Residential designation include the cluster of townhouses near the center of the development and the three blocks of “Terrace” homes along the eastern edge, which have a higher density if taken in isolation. The proposed layout is similar to the 2020 approval, but the cluster of townhouses in the center were not part of that 2020 plan. The inclusion of “Terrace” homes is also new, they have replaced some of what were formerly all townhouses along the eastern side of the development.

B. Aesthetics: The Planned Unit Development must be aesthetically pleasing and be an integrated development with respect to building facades, building materials, landscape and berming, noise and visual screening mechanisms, and signs. It should contribute to creating a distinctive attractive community with a strong sense of place.

Home Types:

Meets standard. The applicant has submitted a pattern book that indicates a variety of homes will be available to customers. In general Eastbrook homes are aesthetically pleasing with good quality exterior materials and architectural detailing. Most of the single family detached home types are front-loaded with two bay garages, the Township encourages home plans that recess garages and feature front porches to encourage community interaction.

Landscaping:

Meets standard. Landscaping plans show street trees planted at ca. 70–140-foot intervals along the streets; landscaping requirements under Section 16.13 Residential Landscaping require one canopy tree for every 80 feet of lot frontage. The landscaping plans show four species to be utilized, staff encourages planting more of a variety of native tree species where feasible and mixing species along road corridors to create diversity in case of loss due to species specific disease.

C. Compatibility with Adjacent Uses: The Planned Unit Development must be compatible with surrounding uses. Efforts must be made to reduce any adverse effects on surrounding uses.

Meets standard. The surrounding uses are predominantly residential to the north and west. The Future Land Use Plan for the surrounding area is for transition to residential housing over the course of time. To the east is Revolution Farms, a greenhouse facility that has generated complaints of light pollution at night since it began operation. This will likely be a source of irritation for residents.

D. Density: The density requirements of the proposed Planned Unit Development shall be based on the underlying land use district in the Master Plan. The Township Board, upon recommendation of the Planning Commission, may vary the density requirements if doing so would result in a development that better achieves the intent of the Master Plan.

Meets standard. The project consists of 404 units on 149.2 acres, which is a gross residential density of approximately 2.7 units per acre. Once rights-of-way, wetlands and floodplain, and utility easements are subtracted, the net residential density is ca. 3.14 dwelling units per acre. Net residential density guidelines in Suburban Residential areas under the Master Plan are for 1-4 units per acre.

E. Traffic: The Planned Unit Development shall be designed to minimize the effect of traffic generated by the proposed development on surrounding uses. Consideration should be given to: 1. The amount and type of traffic generated by the proposed project and capacity of existing and proposed streets to safely absorb that additional traffic. Whether the streets and pedestrian walkways within each project

are designed to facilitate safe pedestrian and vehicular traffic flow patterns. 3. All points of ingress and egress to the project shall be located and designed to maximize safety.

Meets standard. The increase in residential use on the parcel will certainly increase traffic, primarily to 76th Street, but Hidden Knoll to the west and Terra Cotta/Sienna Drive to the north will also likely see increases when the neighborhoods north of Plaster Creek are built. Within the development, the road network provides for efficient circulation and connection to 76th Street. Sidewalks are indicated on both sides of the roads throughout the development except on one side of roads “Q”, “O” and “P”. The Planning Commission should decide if this is acceptable on those roads where there are numerous driveways. The main entrance onto 76th Street will be designed based on Kent County Road Commission standards.

Considering potential future development on parcels to the north and east, a roadway that would extend into the parcel to the northeast is indicated as “Road F”.

F. Protection of Natural Environment: Each project shall be designed to minimize adverse effects on the environment. Special emphasis shall be placed on maintaining the quality of air, soils, groundwater, streams, wetlands, and rivers.

Meets standard. The Plaster Creek corridor and adjacent wetlands cut through the middle of the site. The site plan avoids these corridors by maintaining 160-300 foot buffers and preserving the existing trees within them. A bridge crossing will be necessary connect to Terra Cotta/Sienna Drive to the north.

G. Schools: Whether a project can be served by existing schools and school related facilities and the impact upon schools if the property is developed in accordance with the Planned Unit Development plans or in accordance with the conventional zoning district requirements shall both be considered. In addition, streets and pedestrian walkways shall be designed and located in any project to facilitate the ability of students to make the best and safest use of existing schools and school related facilities.

Meets standard. The project area is split by the boundary between the Kentwood and Caledonia School Districts. There will certainly be an impact on schools; it is anticipated that Gaines Charter Township will continue to grow with an increase in family households with school-age children. The streets are adequately sized to safely pick up and drop off school age children and sidewalks are placed along roadways for kids to use to get to bus stops.

H. Public Facilities: The Planning Commission shall consider the impact a project will have on:

- 1. Public safety and protection services.***
- 2. Water and sewer facilities.***
- 3. The costs for such services.***

Each project shall be designed and located so as to facilitate use of, access to, or the logical expansion or extension of existing facilities in order to minimize any adverse financial or other impact upon the Township and to promote public health and safety.

Meets standard. The project is located approximately two miles from the Dutton Fire Department and Sheriff’s Department, so response times are anticipated to be adequate.

Initial review comments from the Township Engineer have been incorporated into the site plan. The Fire Inspector noted that up to thirty residential units are allowed, but that a secondary road connection needs to be established prior to more homes.

I. Water, Sewer, and Drainage Systems: A Planned Unit Development shall be served by a public or private water and sanitary sewer systems. The Kent County Health Department and/or the Township Engineer must approve the systems. A PUD shall also have a drainage system for surface water run-off which the Kent County Drain Commission and / or the Township Engineer must approve.

Meets standard, Conditions Recommended. Water utilities will be extended by the developer from a stub in 76th Street near the Crystal Springs entrance, and sewer will require that a lift station be installed to push waste to sewer lines between Hidden Knoll and Terra Cotta. Utility extensions make sense in this area as they are on the margins of areas already served by sewer and water. Sewer service is not possible south of Alexander Trails, as 76th is the southern extent of the Grand Rapids Sewer Service Agreement. The applicant should be required to comply with all the requirements of the Township Engineer during the final site plan review.

J. Open Space: The Planning Commission and Township Board should consider whether the PUD permanently preserves significant amounts of open space or significant natural features. The Township Board may require, upon recommendation of the Planning Commission, that natural amenities such as, but not limited to, ravines, rock outcrops, wooded areas, tree or shrub specimens, unique wildlife habitat, ponds, streams, and wetlands be preserved as part of the open space system.

Meets Standard. The development includes a relatively high percentage of open space in gross terms, but it has not been determined what the net open space percentage is. The most sensitive wetland areas along Plaster Creek will not be impacted by development (they are also within the 100-year floodplain, so those areas are not conducive to development).

Usable open space includes seven designated areas on the site plan; community gathering areas, play equipment, a dog park, open lawn areas, and a trail system. Notes on each follow.

Park 1; “Dog park” or alternatively “Community Garden”. The area measures 100’x100’ which is relatively small for a dog park. It is in an area where yard space is limited, so it will likely get well used by residents in this part of the development. Benches are indicated for dog owners to rest on while the dogs play.

Parks 2 & 3; Linear yards. Generally open with some canopy trees for shade and paved activity areas (fire pits, picnic tables). About 45 feet wide and surrounded by sidewalks, these areas will serve residents of the terrace homes.

Park 4; Ball court and lawn. Approximately 160’x120’, for active and passive recreation. May be used by all residents, seven parking spaces are available.

Park 5; Child play area and lawn. 240’x100’. Play set and picnic areas with grills and open yards.

Park 6; Mailboxes and benches. Staff don’t view this as a park, it will likely be a place where residents meet during mail pick up and talk.

Specific pathways through the Plaster Creek corridor are indicated as “natural” paths implying an unimproved trail.

Overall, the 2023 Parks and Trails Plan guidance is that the scale for passive recreation parks or natural resource areas at the scale of 5+ acres, and neighborhood parks at the scale of 1-2 acres are ideal.

K. Non-Motorized Transportation Network: Projects within an identified trail network corridor may be required to construct a portion of the trail.

Meets standard. While not in line with a specific corridor identified in the 2010 Non-Motorized Transportation Plan, the area is roughly parallel to a broad southwest-to-northeast corridor identified in it. The non-motorized paths identified in this PUD create an important linkage between 76th and 68th to the north. A trail system along Plaster Creek is a good corridor for a non-motorized greenway that could extend further south toward Prairie Wolf Park in the future.

Pathways along the Plaster Creek corridor are demarcated and described as “cleared hard-pack trail”. During the preliminary hearing on April 25th, the development team explained how building and maintaining a permanent paved trail in this area would be extremely difficult due to seasonal flooding and the need to obtain a permit for placing a constructed pathway in wetlands from EGLE.

Section 25.6 Site Plan Review Standards

A. Adequacy of Information: Whether the required information has been furnished in sufficiently complete and understandable form so as to allow an accurate description of the proposed use(s) and structure(s) in terms of density, location, area, height, bulk, placement, setbacks, performance characteristics, parking, and traffic circulation.

Meets Standard, conditions recommended. The site plan mostly complies with the ordinance requirements, with some proposed PUD modifications to be considered.

Building: The proposed architectural designs of the homes and building materials to be used are compatible with the surrounding area.

Dumpster Enclosure: Trash will be picked up at individual residences.

Lot Dimensions: The proposed setbacks require PUD modifications.

- Minimum lot area is 8,500 square feet, lot width is 65 feet, and buildings are limited to 35 feet or 2 ½ stories. Proposed setbacks are as follows:
- SINGLE FAMILY DETACHED HOMES (PLATTED)
 - A) Front Yard = 25 feet
 - B) Side Yard = 5 feet/12-foot minimum building separation
 - C) Rear Yard = 25 feet
- TERRACE HOME CONDOS
 - A) Front Yard = 20 feet Building to Public Road R.O.W./ 8 feet Building to Sidewalk
 - B) Side Yard = 10 feet Building Separation
 - C) Rear Yard = 20 feet Garage to Edge of Private Road

- TWO-STORY CONDOS (FRONT ENTRY GARAGE) SETBACKS
 - A) Front Yard = 20 feet Building to Public Road R.O.W / 26 feet Garage to Edge of Private Road
 - B) Side Yard = 14 feet Building Separation
 - C) Rear Yard = 25 feet
- TWO-STORY CONDOS (REAR ENTRY GARAGE) SETBACKS
 - A) Front Yard = 10 feet Building to Public Road R.O.W / 8 feet Building to Sidewalk
 - B) Side Yard = 14 feet Building Separation / 10 feet Garage to Garage Separation
 - C) Rear Yard = 20 feet Garage to Edge of Private Road
- RANCH CONDOMINIUM SETBACKS
 - A) Front Yard = 20 feet Building to Public Road R.O.W / 26 feet Garage to Edge of Private Road
 - B) Side Yard = 14 feet Building Separation
 - C) Rear Yard = 25 feet

Parking: The parking requirements are met at one parking space per residential unit. Eleven spaces are indicated in the Park 4 and Park 5 areas.

Signage: Two (2) matching community identification signs are indicated on the site plan at the main entrance on 76th Street, but no details on requested size are indicated.

Lighting: A lighting plan has been submitted in accordance with Section 18.5. Streetlights are proposed at intersection corners, and light levels in these areas are anticipated to be a maximum of 1.4 footcandle. The light poles are compliant with the height requirements at 14 feet tall. The light can be adjusted between 2,700K and 5,000K; the Township encourages lights to be set at the warmer white Kelvin range at 3,500K maximum.

It is not clear whether the poles meet the requirement to be set 10 feet from property lines as the photometric plan is not to scale, nor is it clear if this model of streetlight is a full cutoff fixture. Conditions to clarify these items are recommended.

Landscaping: A landscaping plan has been submitted in accordance with Section 16.3, see comments above for trees along private roads.

Regarding 16.3.B Residential Buffers, landscape buffers are indicated along 76th Street where residential yards are adjacent to the road right-of-way. It is not clear if those buffers lie within the overhead utility easements (which may not allow landscaping beneath), nor are the species noted.

Street Names: Remain undetermined.

B. Compliance with Township Master Plan: The site plan must comply with the Township Master Plan and its goals and objectives and any secondary plans that may have been adopted by the Township for the area containing the site.

Meets standard. Please Review Standard 11.1 (A) above.

C. Compliance with all Township Ordinances and Other Laws: The site plan must comply with the standards of this Ordinance and all other applicable Township ordinances, as well as all county, state, and federal regulations and laws.

Meets standard, condition recommended. The applicant is required to secure all applicable township and outside agency approvals prior to site development, including the Township Engineer/BGUA, Fire Department, Kent County Road Commission, Kent County Drain Commission, and EGLE.

The project is being proposed as a PUD, which leaves room for design flexibility to carry out the goals and intent of the master plan. If the Planning Commission determines that the standards of review for Sections 11.1 and 25.6 are met, compliance with the ordinance will be achieved.

D. Configuration of Uses: Whether there are ways in which the configuration of uses and structures could be changed that would improve the effect of the development on adjoining and nearby properties, persons, activities, and on the community, while allowing reasonable use of the property within the scope of district regulations and other regulations of this Ordinance that are applicable to the property and the proposed use and structures.

Meets standard. The proposed final PUD has been modified throughout the process to meet the guidelines of the Gaines Charter Township 2023 Master Plan and the expectations set by the Planning Commission.

E. Preservation of Natural Features: The landscape, natural features, and topography shall be preserved in its natural state, insofar as practical, by minimizing tree and soil removal and alteration of natural features, and any grade changes shall be in keeping with the general appearance of neighboring developed areas.

Meets standard. Some grade changes will need to be made, which will require a soil erosion and sedimentation control permit from the KCRC prior to the start of any site work. An extensive area along Plaster Creek will be preserved, as will woods at the northwest corner, and on the Terra Cotta parcel. Overall, there is ca. 19 acres of wetlands and floodplain conserved that can be used for passive recreation, and ca. 49.9 acres of open space.

F. Privacy: The site design must provide reasonable visual and sound screening and privacy for dwelling units on the site and on adjacent properties using fences, buffers, berms, and other measures, as appropriate.

Meets standard. The surrounding properties are predominantly undeveloped except along 76th Street and at the connection to Terra Cotta. One area of potential nuisance for residents is the light generated by Revolution Farms to the east which will likely spill into the eastern portions of the development.

G. Safety: Buildings and uses shall be arranged and designed to provide emergency vehicle access. Site plans shall conform to all applicable fire codes.

Meets standard, condition recommended. All site plans, along with measures for fire protection and access, are subject to review and approval by the Fire Inspector. The Fire Inspector has brought it to the attention of the developer that after 30 house units, a secondary road connection will be required to be made.

H. Vehicular Circulation: The site design shall provide safe, convenient, and well defined vehicular and pedestrian circulation within and to/from the site. Access to/from the site shall be designed to minimize conflicts with traffic on adjacent streets. Shared curb cuts and service drives shall be utilized as necessary to reduce traffic conflicts and improve the functionality of the site.

Meets standard. Traffic within the development will be served by both public and private streets. Four access points are planned, one at each cardinal direction and connecting to 76th Street, Hidden Knoll, Terra Cotta, two potential future connections to the west, and one to the east. Within the development itself, the street plan has been designed to adequately move traffic internally. All work within the public right-of-way and public roads must be approved by the Kent County Road Commission.

It is likely that traffic will increase along Terra Cotta/Sienna when the road is connected and as the project gets developed since that is a natural corridor to access 68th Street.

I. Pedestrian Circulation: The site plan shall provide a pedestrian circulation system that is insulated as completely as is reasonably possible from the vehicular circulation system for safety and convenience.

Meets standard. The site plan has been designed to promote pedestrian circulation throughout the development. All public roads are served by sidewalks.

J. Drainage: Site plans shall conform with the Kent County Drain Commission's surface water drainage standards and to the Township Stormwater Ordinance (and other applicable Township ordinances) with special attention given to proper site drainage so that removal of storm water will not adversely affect neighboring property owners. Stormwater management system and facilities shall preserve the natural drainage characteristics and enhance the aesthetics of the site to the maximum extent possible.

Meets standard, condition recommended. Stormwater and utility plans are subject to review and approval by the Township Engineer.

K. Traffic Impact: Measures must be taken to reduce any adverse effects on existing roads, circulation patterns on the roads, or access to the site from the expected volume of traffic to be generated by the proposed use.

Condition recommended. The Kent County Road Commission may require a traffic study during its review of access to the development. A focus on improvements to 76th Street would be welcome by Township residents.

L. Hazardous Materials: Sites which include storage of hazardous materials or waste, fuels, salt, or chemicals shall be designed to prevent spills and discharges of polluting materials to the surface of the ground, groundwater or nearby surface water bodies. Each site shall be designed to meet all applicable state and federal regulations.

Not applicable.

M. Public Health, Safety, or Welfare: The site plan must be adequate to provide for the health, safety, and general welfare of the persons and property on this site and in the neighboring community. The site plan and proposed buildings and uses must be reasonable and promote the goals and intent of this Ordinance. All elements of the site plan shall be designed to take into account the site's

topography, the size and type of lot involved, the character of the adjoining properties, and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding properties for uses permitted in this Ordinance. The site plan must be harmonious with and not injurious to existing and projected uses in the immediate area.

Meets standard. The site plan has been designed to promote the goals and intent of the zoning ordinance and master plan. The development proposes a mix of housing types in a suburban single family home setting. The proposed development intends to preserve wetlands and reduce the limits of disturbance along the Plaster Creek corridor.

STAFF RECOMMENDATION

Staff recommends the Planning Commission approve the site plan and recommend approval of the PUD amendment to the Township Board of Trustees with the following conditions:

1. Secure all Township department and outside agency approvals:
 - a. Township Engineer/BGUA
 - b. Fire Department
 - c. Kent County Road Commission
 - d. Kent County Drain Commission
2. The photometric plan shall be revised:
 - a. Show the setback distances of the proposed light poles to the property lines. To be reviewed and approved administratively.
 - b. Any fixture or luminaire with a lamp shall be a full cut-off type fixture.

Gaines Charter Township

Planning Commission Memo

Meeting Date: May 23rd, 2024

AGENDA ITEM: VI.2.a

PROPOSED REQUEST: Site Plan Review

ADDRESS: 6141 East Paris

PARCEL NUMBER: 41-22-02-200-013

APPLICANT: Jim Rapa, Stone Pro, OBO Devan
and Sydnee's Holdings LLC

FILE NUMBER: 020624JR

PROPERTY ZONING DISTRICT: Light Industrial
(I-1)

PROPERTY SIZE: 2.35 Acres

REPORT BY: Dakota Swan, Assistant Planner &
Dan Wells, Community Development Director;



OVERVIEW

The applicant requests site plan approval for a new 6,000-square-foot (SF) warehouse on the property that would also include some office space. Two older pole barn warehouses along the south property line (1,631 SF and 2,376 SF respectively), and the single-story house to the west (2,034 SF) will remain, for a total of 10,007 SF of accessory buildings on the site. The 1,631 SF pole barn is non-conforming to setback requirements, but it will not be altered during this project.

The applicant has also included plans for 13 parking spaces associated with said warehouse, and a 60x60-foot outdoor storage area on the west side of the new building. That area will be accessed via a sliding gate and will have a 6-foot-high fence with privacy fabric. Areas surrounding the new pole barn will be paved and stormwater controls will be put in place.

Surrounding zoning:

	NORTH: Light Industrial (I-1)	
WEST: Light Industrial (I-1)	SUBJECT PARCEL	EAST: Light Industrial (I-1)
	SOUTH: Light Industrial (I-1)	

SECTION 25.6 SITE PLAN STANDARDS OF REVIEW

The Site Plan dated April 11th, 2024 has been reviewed using the applicable review standards of Section 25.6 Site Plan Review Standards. Additional information is included on the following pages concerning site plan review considerations and standards.

- A. Adequacy of Information: Whether the required information has been furnished in sufficiently complete and understandable form so as to allow an accurate description of the proposed use(s) and structure(s) in terms of density, location, area, height, bulk, placement, setbacks, performance characteristics, parking, and traffic circulation.**

Section 8.3 Dimensional Standards.

Meets Standard.

I-1 (Light Industrial) Regulations	Required	Proposed
Front Yard Setback	100 Feet	100 Feet
South Side Setback	15 Feet	15 Feet (note non-conforming building present)
North Side Setback	15 Feet	15 Feet
Rear Yard Setback	25 Feet	50 Feet
Maximum Building Height	60 Feet	27 Feet

Chapter 15 Parking and Loading Regulations.

Meets Standard. Currently the site doesn't have any designated parking spaces, but rather a dirt lot for parking. Parking areas will be paved with asphalt and storm drains installed. The standard for parking in a designated I-1 district is 1 space per 4000 S.F. of warehouse and 3 spaces per 1000 S.F.

of office. They have proposed 13 parking spaces and one barrier free parking space, which exceeds the required minimum parking. Parking spots are 9' x 20' and meet standards.

The proposed plan also includes one loading space that meets the minimum width (10'), length (35') and height (14') requirements for industrial uses.

Chapter 17 Signage Regulations.

Meets Standard. It is specified in the site plan that all signage will conform to municipal standards for an industrial zoned area, which entails a wall mounted sign above the front doors. Signage will be reviewed administratively, and will meet current ordinance standards.

Chapter 16 Landscaping Regulations.

Meets Standard. The landscaping plan meets the point requirements for front yard and parking lot plantings. All plantings are outside of the East Paris right-of-way.

There are plans for some tree removal to occur near the back of the parcel, but there is a 300-foot buffer of natural woods between this project from the residence to the west.

Chapter 18 Lighting Regulations.

Meets Standard. A photometric plan indicates that the areas surrounding the building will remain adequately lit; light at the periphery of the property is as high as 0.6 candlepower, but there is no maximum limit for industrial property. The applicant specified in the site layout plan that all lighting on site will utilize building mounted lights in full cut-off fixtures and adhere to zoning requirements pertinent to lighting. Staff recommends the applicant utilize 3000k-4000k temperature LEDs.

B. Compliance with Township Master Plan: The site plan must comply with the Township Master Plan and its goals and objectives and any secondary plans that may have been adopted by the Township for the area containing the site.

Meets standard. The parcel in question is located within Section 2 and is near the Steelcase PUD; the Master Plan specifies that industrial development near the Steelcase PUD is expected to increase over the next decade. This project would be consistent with surrounding land uses and the rise in logistics and warehousing in this area.

C. Compliance with all Township Ordinances and Other Laws: The site plan must comply with the standards of this Ordinance and all other applicable Township ordinances, as well as all county, state, and federal regulations and laws.

Condition recommended. The applicant is required to secure all applicable Township and outside agency approvals prior to site development, including Township Engineering/BGUA, Fire Department, Kent County Road Commission, and Kent County Drain Commission, as applicable.

The Township Engineer has determined that all current engineering plans are complete.

D. Configuration of Uses: Whether there are ways in which the configuration of uses and structures could be changed that would improve the effect of the development on adjoining and nearby

properties, persons, activities, and on the community, while allowing reasonable use of the property within the scope of district regulations and other regulations of this Ordinance that are applicable to the property and the proposed use and structures.

Meets standard. The proposed warehouse building will not affect adjacent properties since the north, east and south adjoining properties are also zoned as I-1 (Light Industrial). The property to the west is a PUD, however, the proposed structure meets all rear setback requirements and will not have any impact on the PUD to the west. The entry/exit point to the parcel will remain the same, with the only difference being that it will now be paved.

- E. Preservation of Natural Features: The landscape, natural features, and topography shall be preserved in its natural state, insofar as practical, by minimizing tree and soil removal and alteration of natural features, and any grade changes shall be in keeping with the general appearance of neighboring developed areas.***

Meets standard. There are plans for some tree removal towards the back of the parcel but besides that, there are no plans to otherwise alter the natural features and/ or topography of the parcel. Demolition and excavation associated with construction are outlined in the Existing Conditions and Removals Plan, however, the applicant states that backfill will occur promptly after demolition to not compromise the natural features and/ or topography within the parcel.

- F. Privacy: The site design must provide reasonable visual and sound screening and privacy for dwelling units on the site and on adjacent properties using fences, buffers, berms, and other measures, as appropriate.***

Meets standard. No dwelling units are located within 300 feet of the proposed warehouse, and given the nature of the business, it is not anticipated that there will be cause for nuisance or disturbances.

- G. Safety: Buildings and uses shall be arranged and designed to provide emergency vehicle access. Site plans shall conform to all applicable fire codes.***

Meets standard. The Fire Inspector has reviewed the site plan and has not expressed any access or safety concerns. Detailed plans related to fire suppression systems will be reviewed in the future and require Fire Inspector approval.

- H. Vehicular Circulation: The site design shall provide safe, convenient, and well defined vehicular and pedestrian circulation within and to/from the site. Access to/from the site shall be designed to minimize conflicts with traffic on adjacent streets. Shared curb cuts and service drives shall be utilized as necessary to reduce traffic conflicts and improve the functionality of the site.***

Meets standard. Sidewalks will be extended south of the entrance along East Paris to join with the strip of sidewalk that is in front of the adjacent property to the south and sidewalk will be extended northward to the edge of the property. The addition of office space may lead to a slight increase in traffic during the beginning and end of the workday, but should not significantly impact traffic that is typical for this area during those times of day.

- I. Pedestrian Circulation: The site plan shall provide a pedestrian circulation system that is insulated as completely as is reasonably possible from the vehicular circulation system for safety and convenience.***

Undetermined. Sidewalks along the front of the property do not lead to internal buildings. It is not likely that pedestrian access will be frequent in this area, but pedestrians would have to use the internal driveways or grassy curbs to access the main buildings or walk among them.

- J. Drainage: Site plans shall conform with the Kent County Drain Commission's surface water drainage standards and to the Township Stormwater Ordinance (and other applicable Township ordinances) with special attention given to proper site drainage so that removal of storm water will not adversely affect neighboring property owners. Stormwater management system and facilities shall preserve the natural drainage characteristics and enhance the aesthetics of the site to the maximum extent possible.***

Condition Recommended. The applicant is required to secure all applicable Township and outside agency approvals and permits related to stormwater and drainage prior to site development, including Township Engineering/BGUA and Kent County Drain Commission, as applicable.

The Township Engineer has determined that all current engineering plans are complete, which includes stormwater controls.

- K. Traffic Impact: Measures must be taken to reduce any adverse effects on existing roads, circulation patterns on the roads, or access to the site from the expected volume of traffic to be generated by the proposed use.***

Meets standard. While the installation of the warehouse will likely include a slight increase in traffic to and from the facility, East Paris itself is adequate to handle the additional traffic.

- L. Hazardous Materials: Sites which include storage of hazardous materials or waste, fuels, salt, or chemicals shall be designed to prevent spills and discharges of polluting materials to the surface of the ground, groundwater or nearby surface water bodies. Each site shall be designed to meet all applicable state and federal regulations.***

Meets standard. No hazardous materials are planned to be stored at the facilities. Facility is subject to Fire Inspector annual review.

- M. Public Health, Safety, or Welfare: The site plan must be adequate to provide for the health, safety, and general welfare of the persons and property on this site and in the neighboring community. The site plan and proposed buildings and uses must be reasonable and promote the goals and intent of this Ordinance. All elements of the site plan shall be designed to take into account the site's topography, the size and type of lot involved, the character of the adjoining properties, and the type and size of buildings. The site shall be developed so as not to impede the normal and orderly development or improvement of surrounding properties for uses permitted in this Ordinance. The site plan must be harmonious with and not injurious to existing and projected uses in the immediate area.***

Meets Standard. The site is fully served by utilities and has adequate access for emergency services. The primary use of the surrounding properties is industrial, and the area has been zoned as such for decades. Neighboring properties are not affected negatively by the proposed expansion.

STAFF RECOMMENDATION

Staff recommends the Planning Commission consider if sidewalk access to internal buildings is necessary.

Staff recommends approval of the proposed site plan to construct a StonePro warehouse/ office facility with the following conditions:

1. Secure all Township departments and outside agency approvals:
 - a. Township Engineer/BGUA.
 - b. Fire Department.
 - c. Kent County Road Commission.
 - d. Kent County Drain Commission.
 - e. Department of Energy Great Lakes and Energy
2. Signage meeting current ordinance standards shall be reviewed administratively.

RECEIVED 01/29/2024 12:08PM



FILE NO. 240206JR

Gaines Charter Township
8555 Kalamazoo Avenue SE
Caledonia, MI 49316
Phone (616)6986640 Fax (616)698-2490



CHECK # 41583
\$1000 - ESCROW \$500 - APPLICATION
02/08/2024
D.S

Application for Zoning Approval

Project Address	6141 East Paris Ave SE
Owner Name	Devan and Sydnee's Holdings / Andrew Belcher
Owner Address	800 Nold US23 Hwy Brighton, MI 48114
Parcel Number(s)	41-22-02-200-013 41-22-
Description of Proposed Project/Use	Proposes an addition of warehouse with supporting office building on site

Applicant/Contact	Jim Rapa
Phone/Email	616-329-0427 jimrapa@stoneprollc.com
"I" hereby certify to the correctness and knowledge of the information submitted and hereby agree to comply with the terms and requirements of all applicable Township ordinances. I also grant Township staff permission to enter onto the subject property in review of this application	
Signature	
For Planning Commission/Zoning Board of Appeals requests, and Land Divisions/Combinations, please complete the appropriate Worksheet as part of your application packet - See staff for more information.	

Township Use Only

Current Zoning District: RL-14 RL-10 R-3 R-4 C-1 C-2 O-S I-1 I-2 PUD A-R A-B									
One/Two-Family Construction			Rezoning/PUD Rezoning			Land Division			
Special Use Permit Request			PUD Amendment			Text Amendment			
Zoning Board of Appeals Request			☒ Site Plan Review						
Subdivision/Site Condo Review			Other						
DENIED		APPROVED		APPROVED WITH CONDITIONS		WITHDRAWN			
ZONING ADMINISTRATOR SIGNATURE				DATE					



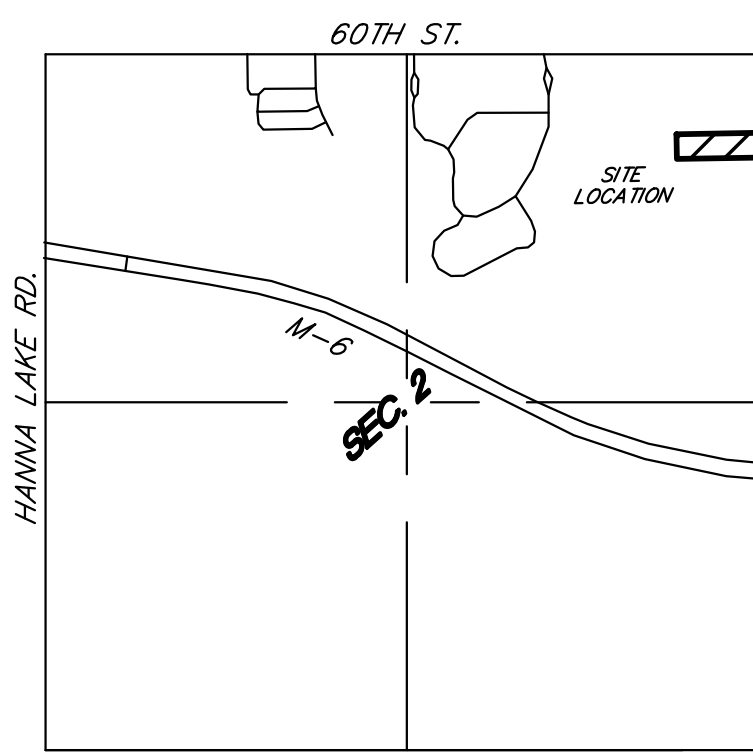
Know what's below.
Call before you dig.

BENCHMARK NO. 1 ELEV. = 754.02'
SOUTHEAST FLANGEBOLT UNDER "E" ON
THE HYDRANT LOCATED ±40' EAST OF
THE CENTERLINE OF EAST PARIS
AVENUE AND ±2' NORTH OF EXTENDED
SOUTH LINE OF EASTERLY POLE BARN
#6141 (N.A.V.D. 88)

BENCHMARK NO. 2 ELEV. = 753.07'
NORTHEAST FLANGEBOLT UNDER "M" ON
THE HYDRANT LOCATED ±420' WEST OF
THE CENTERLINE OF EAST PARIS
AVENUE AND ±7' SOUTH OF EXTENDED
SOUTH LINE OF WESTERLY POLE BARN
#6141 (N.A.V.D. 88)

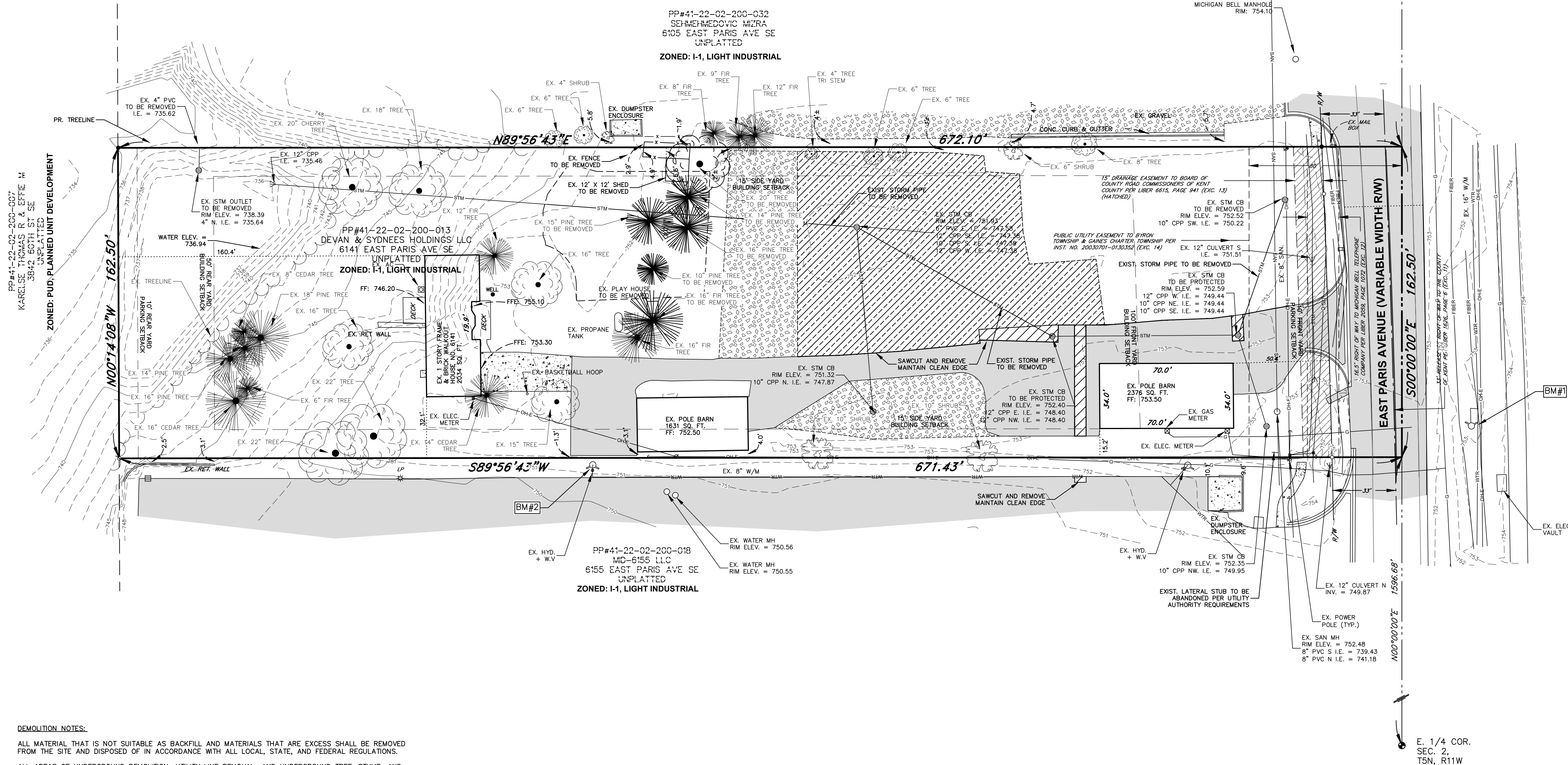
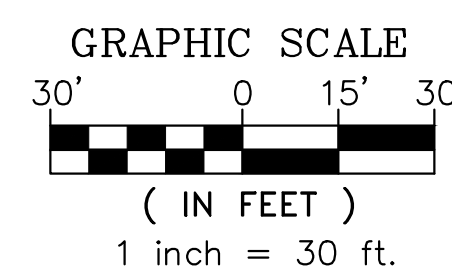
LEGAL DESCRIPTION FROM SUN TITLE AGENCY OF MICHIGAN, LLC TITLE COMMITMENT
NO. 223199, EFFECTIVE DATE OF JUNE 26, 2023:

That part of the East 1/2, Northeast 1/4, Section 2, T5N, R11W, Gaines Township,
Kent County, Michigan, described as: Beginning at a point on the East line of said
Northeast 1/4, which is S00°00'00"E 487.5 feet from the Northeast corner of said
Section; thence S00°00'E 162.5 feet along said East line; thence S89°56'43"W
671.43 feet; thence N00°14'08"W 162.5 feet; thence N89°56'43"E 672.10 feet to
the Place of Beginning.



LOCATION MAP
NOT TO SCALE

ADDRESS:
6141 EAST PARIS AVE SE,
CALEDONIA, MI 49316



EXISTING LEGEND	
SURVEY ● SECTION CORNER ● PROPERTY IRON FOUND ● PROPERTY IRON SET BM# BENCHMARK	TREES ● CONIFEROUS TREE ● DECIDUOUS TREE
WATER ○ MANHOLE ○ VALVE ○ HYDRANT	ELECTRICAL ○ UTILITY POLE ○ GUY WIRE ○ LIGHT POLE ○ UTILITY RISER/METER
SANITARY SEWER ○ MANHOLE ○ CLEANOUT	STORM SEWER ○ CURB CATCH BASIN ○ ROUND CATCH BASIN ○ FLARED END SECTION
MISC □ MAILBOX △ SIGN	
	EXIST. GRAVEL
	EXIST. CONCRETE
	EXIST. BITUMINOUS
	EXIST. GRAVEL REMOVAL
	EXIST. BIT REMOVAL
	CENTER LINE
	PROPERTY LINE
	CONTOUR LINE (MAJOR)
	CONTOUR LINE (MINOR)
	FENCE
	TREE LINE
	WATER MAIN
	SANITARY SEWER
	STORM SEWER
	NATURAL GAS
	FIBER OPTIC
	OVERHEAD ELECTRIC
	UNDERGROUND TELEPHONE
	UNDERGROUND CABLE

DEMOLITION NOTES:

ALL MATERIAL THAT IS NOT SUITABLE AS BACKFILL AND MATERIALS THAT ARE EXCESS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

ALL AREAS OF UNDERGROUND DEMOLITION; UTILITY LINE REMOVAL; AND UNDERGROUND TREE, STUMP, AND VEGETATION REMOVAL SHALL BE BACKFILLED.

BACKFILLING SHALL PROMPTLY FOLLOW UNDERGROUND DEMOLITION OR REMOVAL WORK AND SHALL CONTINUE AS THE DEMOLITION PROGRESSES.

NOTIFY ARCHITECT/ENGINEER OF ANY OTHER UNDERGROUND MATERIALS OR EQUIPMENT ENCOUNTERED DURING EXCAVATION NOT SPECIFICALLY NOTED ON THE DRAWING(S).

WHERE CURBING OR PAVEMENT IS INDICATED TO BE REMOVED, IT SHALL BE SAWCUT FULL DEPTH. REMOVE TO THE NEAREST JOINT, IF THE JOINT IS WITHIN 3 FEET OF THE REMOVAL LINE. VERIFY REMOVAL LIMITS WITH ENGINEER PRIOR TO BEGINNING WORK.

REVISIONS:

DRAWN BY: YS
APPROVED BY: MC
DATE: FEBRUARY 1, 2024
REVISIONS:
APRIL 11, 2024 - PER TOWNSHIP COMMENTS

Rooston & Associates
SURVEYING AND ENGINEERING

6035 PLAINFIELD AVE SE NW MOSCOW, MI 49758
TEL: (616) 361-7220

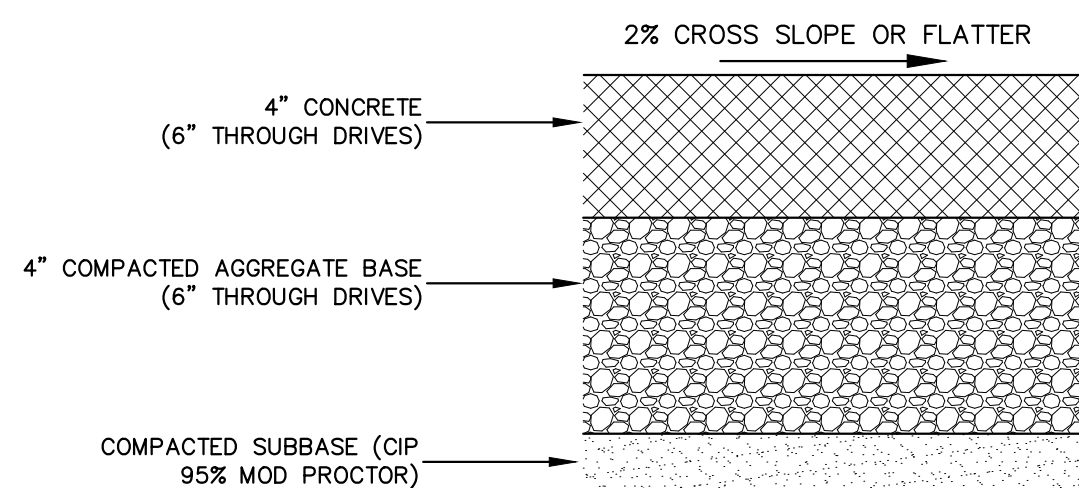
EXISTING CONDITIONS & REMOVALS PLAN
6141 EAST PARIS SE
PART OF SECTION 2, T5N, R11W
GAINES TOWNSHIP, KENT COUNTY, MI

CLIENT:
Jim Rapa - Stone Pro LLC
800 N Old US 23 Hwy
Brighton, MI 48114
616-329-0427

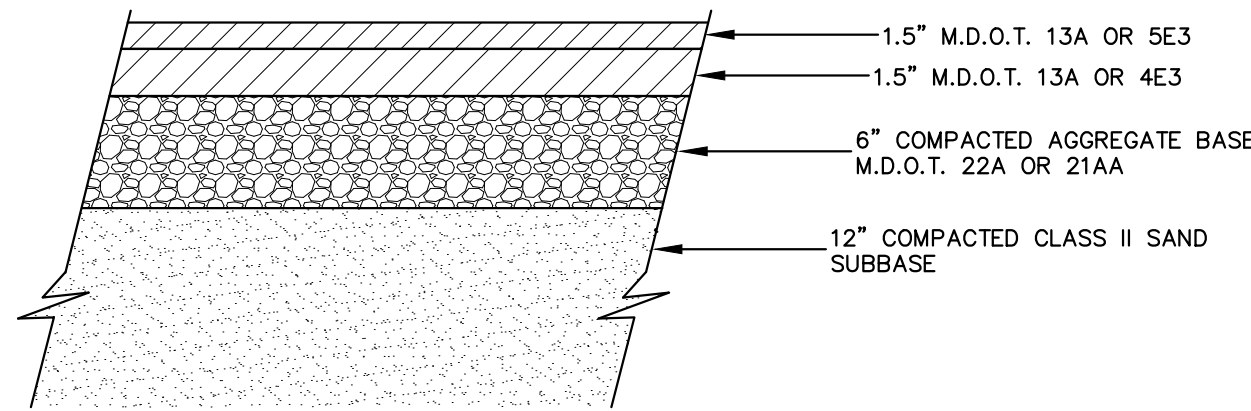
PROJECT NO.
231197

C-101

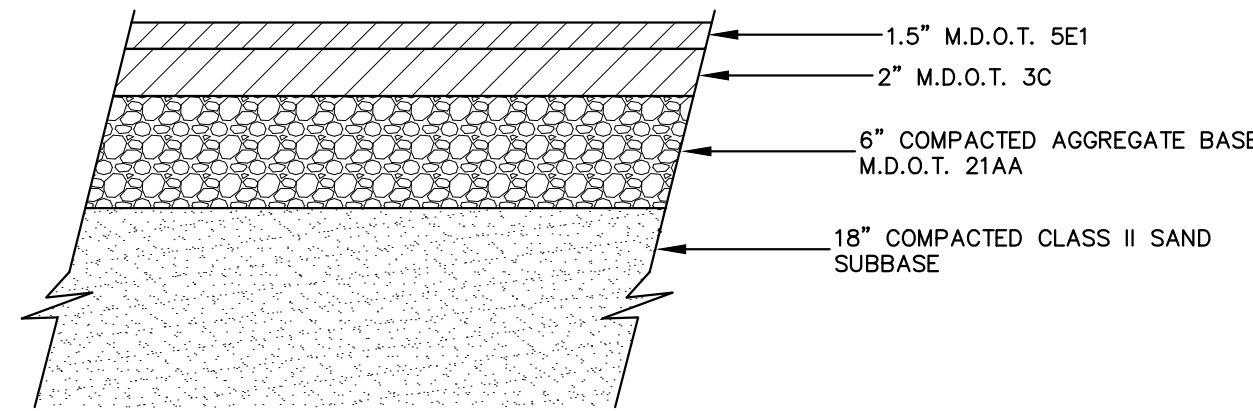




CONCRETE SIDEWALK
NOT TO SCALE



BIT PAVEMENT-SECTION
NOT TO SCALE



R.O.W. BIT PAVEMENT-SECTION
NOT TO SCALE

BENCHMARK NO. 1 ELEV. = 754.02'
SOUTHEAST FLANGEBOLT UNDER "E" ON
THE HYDRANT LOCATED ±40' EAST OF
THE CENTERLINE OF EAST PARIS
AVENUE AND ±2' NORTH OF EXTENDED
SOUTH LINE OF EASTERLY POLE BARN
#6141 (N.A.V.D. 88)

BENCHMARK NO. 2 ELEV. = 753.07'
NORTHEAST FLANGEBOLT UNDER "M" ON
THE HYDRANT LOCATED ±420' WEST OF
THE CENTERLINE OF EAST PARIS
AVENUE AND ±7' SOUTH OF EXTENDED
SOUTH LINE OF WESTERLY POLE BARN
#6141 (N.A.V.D. 88)

SITE DATA:

SITE: 2.36 ACRES
USE: WAREHOUSE/STORAGE AND OFFICE

	REQUIRED	PROVIDED
MAXIMUM BUILDING HEIGHT:	60'	SEE ARCH
FRONT BUILDING SETBACK:	100'	100'
SIDE BUILDING SETBACK:	15'	15' TO NORTH
REAR BUILDING SETBACK:	50' ADJ. TO "R"	NO CHANGE FROM EX.

PARKING DATA:

MIN. REQUIRED PARKING: 13 SPACES
(1 SPACE PER 4000 SFT OF WAREHOUSE + 3 PER 1000 SFT OF OFFICE)
((4380+2380+1624)/4000 + (1620+2034)/3/1000)

PROPOSED PARKING: 13 SPACES
(INCLUDES 1 BARRIER FREE SPACE)

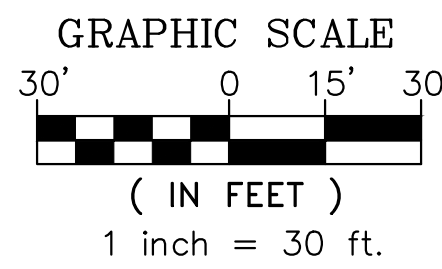
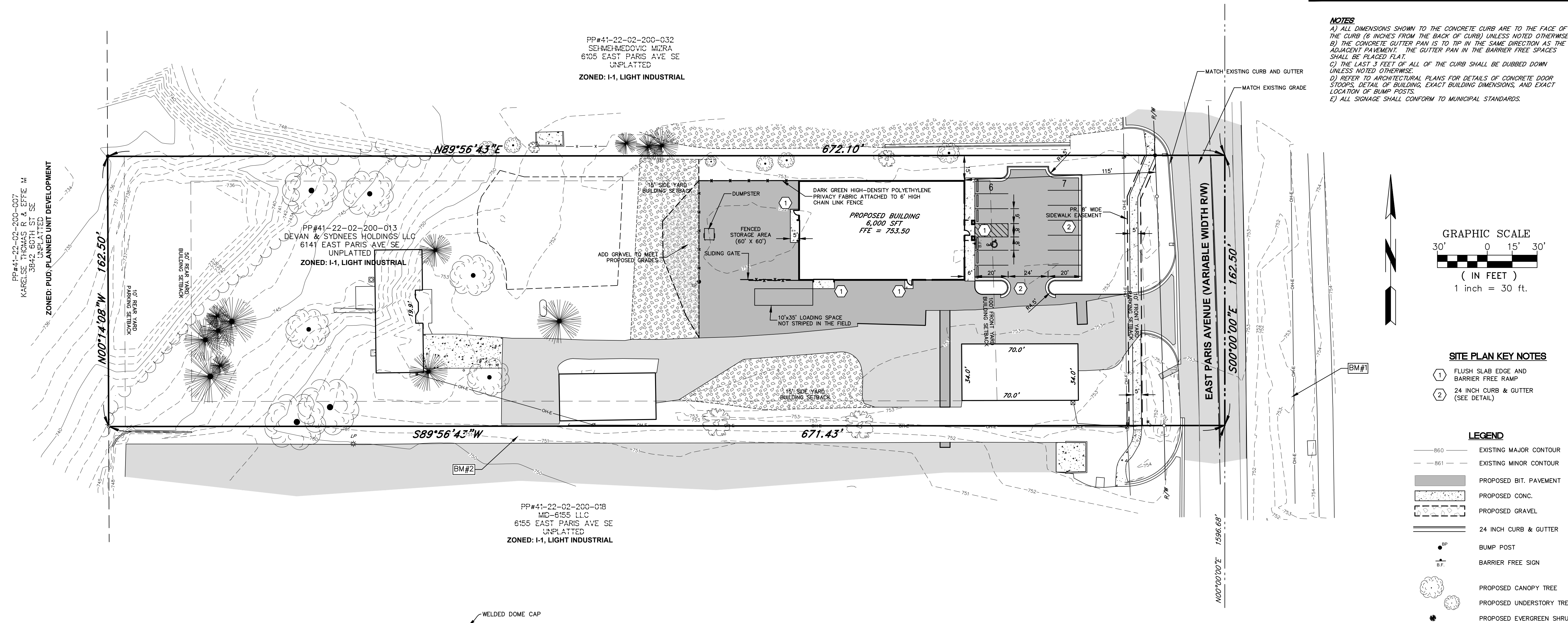
PARKING SPACE:	9' x 18'	9' x 20'
DRIVE AISLE WIDTH (TWO WAY):	24'	24'

LOADING:	1 SPACE	1 SPACE
LOADING SIZE:	10' x 35'	10' x 35'

ALL SITE LIGHTING WILL UTILIZE BUILDING MOUNTED LIGHTS IN FULL CUT-OFF FIXTURES
MEETING ZONING REQUIREMENTS

NOTES

- ALL DIMENSIONS SHOWN TO THE CONCRETE CURB ARE TO THE FACE OF THE CURB (6 INCHES FROM THE BACK OF CURB) UNLESS NOTED OTHERWISE.
- THE CONCRETE GUTTER PAN IS TO TIP IN THE SAME DIRECTION AS THE ADJACENT PAVEMENT. THE GUTTER PAN IN THE BARRIER FREE SPACES SHALL BE PLACED FLAT.
- THE LAST 3 FEET OF ALL OF THE CURB SHALL BE DUBBED DOWN UNLESS NOTED OTHERWISE.
- REFER TO ARCHITECTURAL PLANS FOR DETAILS OF CONCRETE DOOR STOPS, DETAIL OF BUILDING, EXACT BUILDING DIMENSIONS, AND EXACT LOCATION OF BUMP POSTS.
- ALL SIGNAGE SHALL CONFORM TO MUNICIPAL STANDARDS.

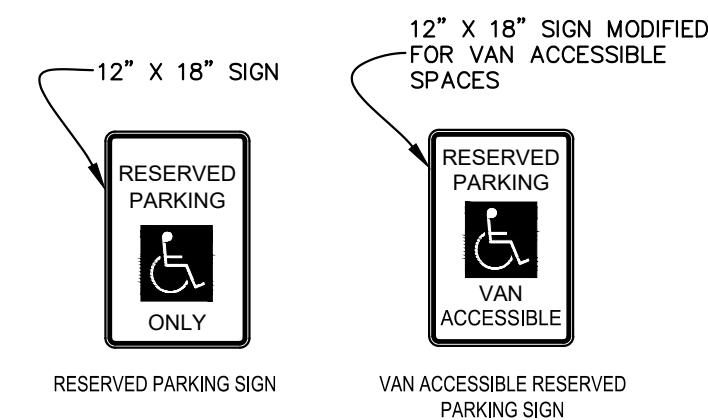


SITE PLAN KEY NOTES

- FLUSH SLAB EDGE AND BARRIER FREE RAMP
- 24 INCH CURB & GUTTER (SEE DETAIL)

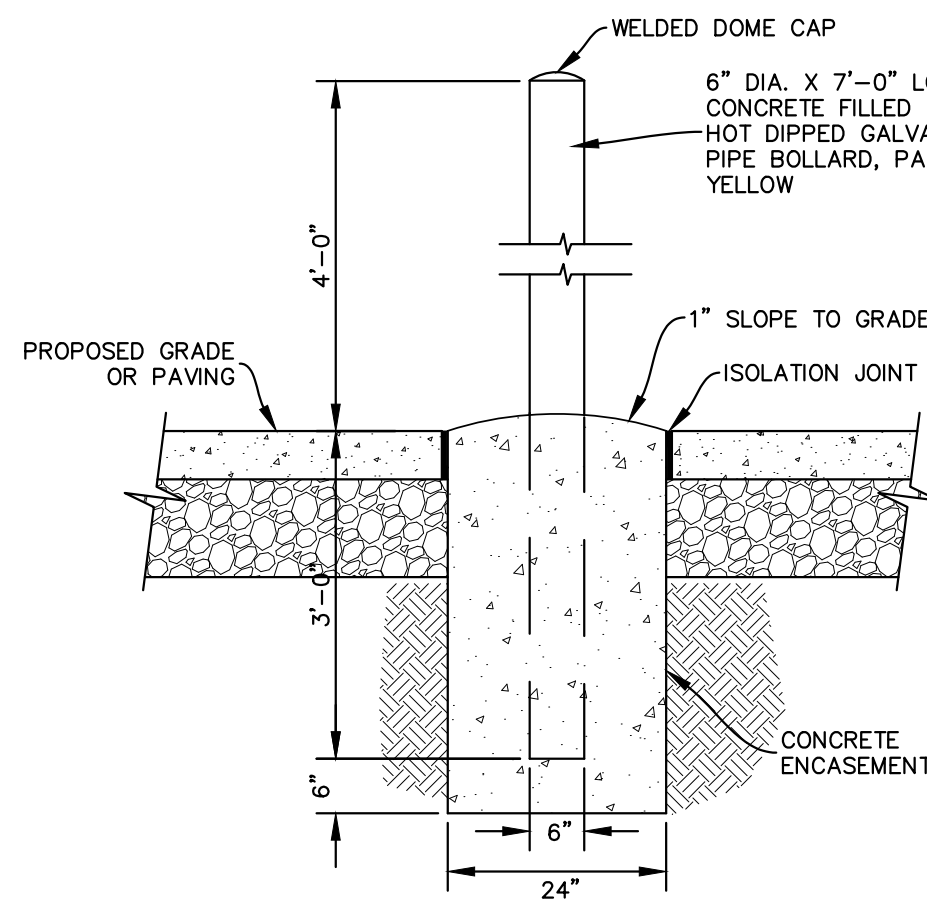
LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED BIT. PAVEMENT
- PROPOSED CONC.
- PROPOSED GRAVEL
- 24 INCH CURB & GUTTER
- BUMP POST
- BARRIER FREE SIGN
- PROPOSED CANOPY TREE
- PROPOSED UNDERSTORY TREE
- PROPOSED EVERGREEN SHRUB

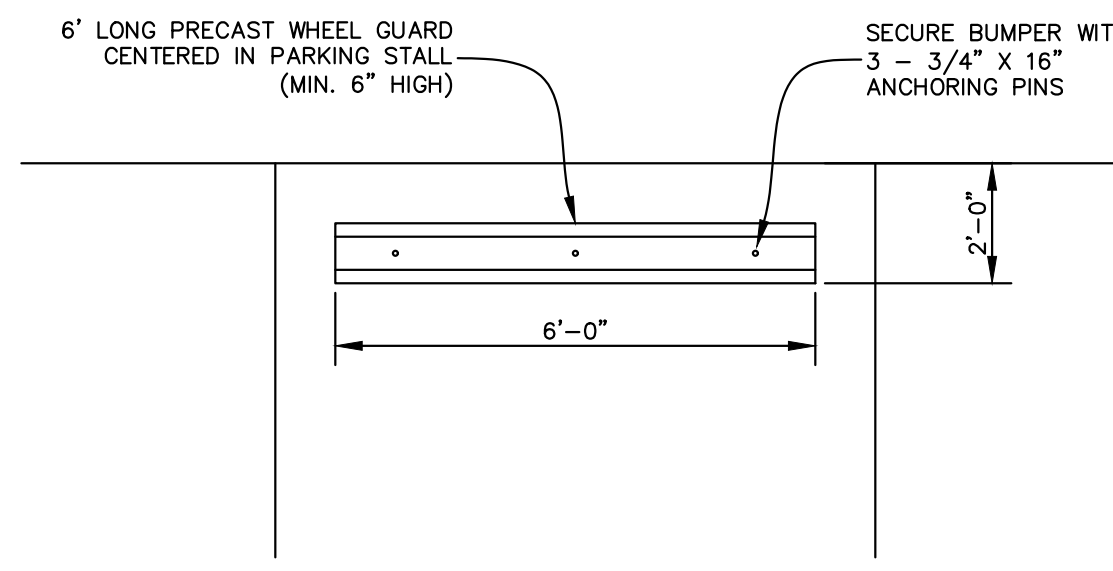


SIGN MATERIALS:
GENERAL: SIGNS SHALL CONFORM WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
MOUNTING HARDWARE: STAINLESS STEEL.
PANEL MATERIAL: ALUMINUM SHEET.
SIGN FACE: REFLECTORIZED BACKGROUND, REFLECTORIZED LEGEND.

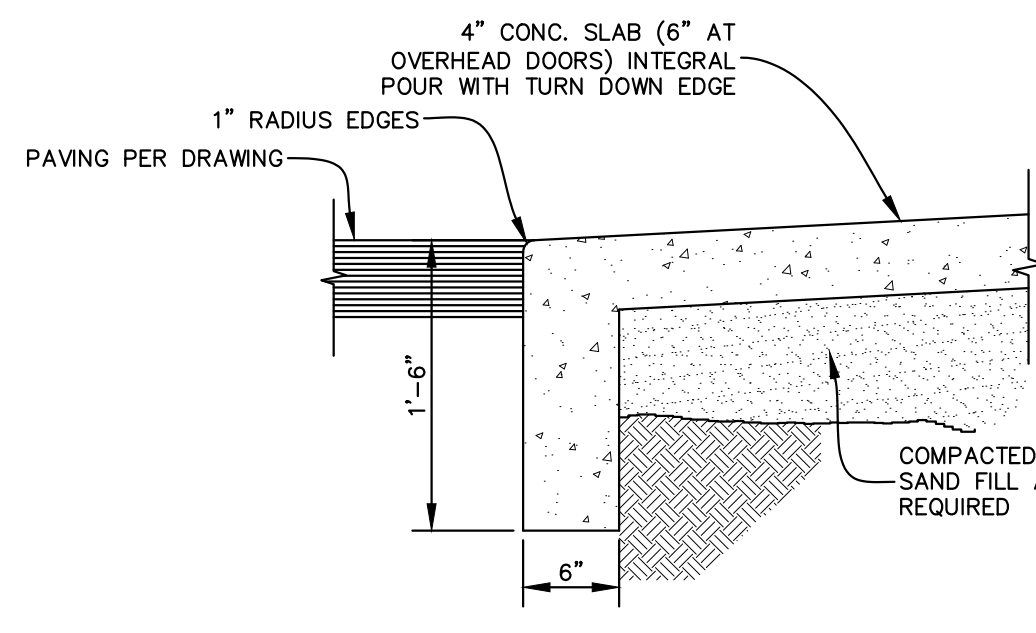
BARRIER FREE SIGNS
NOT TO SCALE



BUMP POST
NOT TO SCALE



BUMPER BLOCK DETAIL
NOT TO SCALE



FLUSH SIDEWALK EDGE
NOT TO SCALE

REVISIONS:

APPROVED BY: JC	DATE: FEBRUARY 1, 2024
DRAWN BY: VS	DATE: FEBRUARY 1, 2024
REVISIONS:	APRIL 11, 2024 - PER TOWNSHIP COMMENTS

Rooston & Associates

ENGINEERING AND ARCHITECTURE

6035 PARADE AVE SE
GRAND RAPIDS, MI 49505
TEL: (616) 361-7220

SITE LAYOUT AND LANDSCAPE PLAN

6141 EAST PARIS SE

PART OF SECTION 2, T5N, R11W

GAINES TOWNSHIP, KENT COUNTY, MI

CLIENT:

Jim Rapa - Stone Pro LLC

800 N Old US 23 Hwy

Brighton, MI 48114

616-329-0427

PROJECT NO.

231197

C-102

GENERAL PRIVATE UTILITY NOTES:

PROPOSED PRIVATE UTILITY SERVICE AS SHOWN IS SCHEMATIC ONLY. ACTUAL LOCATION TO BE COORDINATED WITH INDIVIDUAL UTILITY COMPANY AND APPROVED BY OWNER.

CONTRACTOR SHALL COORDINATE LOCATION OF ALL PRIVATE UTILITIES (GAS, ELECTRIC, PHONE, CABLE, ETC.) WITH THE LOCAL UTILITY COMPANIES AND THE MECHANICAL DRAWINGS. COORDINATE ALL PRIVATE UTILITY LOCATIONS WITH ALL SUB-SURFACE SITE UTILITIES SHOWN ON THIS PLAN.

GENERAL STORM SEWER NOTES:

SITE CONTRACTOR TO END STORM CONNECTION 5' FROM BUILDING WITH A CLEAN-OUT AND TEMPORARY CAP. COORDINATE CONNECTION WITH BUILDING PLUMBING CONTRACTOR.

UNLESS NOTED OTHERWISE ON THE PLAN, STORM SEWER PIPE SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE PER AASHTO M294 TYPE S. JOINTS SHALL BE WATER TIGHT IN ACCORDANCE WITH ASTM F477. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

ROOF DRAIN PIPE OR PIPE INDICATED TO BE PVC SHALL MEET THE REQUIREMENTS OF ASTM D3034, SDR 35. JOINTS TO BE ELASTOMERIC SEALS IN ACCORDANCE WITH ASTM F477.

MATERIALS, INSTALLATION, AND TESTING OF THE STORM SEWER SYSTEM SHALL CONFORM TO GAINES TOWNSHIP STANDARDS.

GENERAL WATER SERVICE NOTES:

SITE CONTRACTOR TO END WATER SERVICE(S) 5' FROM BUILDING WITH A TEMPORARY CAP. COORDINATE CONNECTION WITH BUILDING PLUMBING CONTRACTOR.

IRRIGATION WATER SERVICE TO BE TAPPED OFF WATER SERVICE INSIDE BUILDING UTILITY ROOM. COORDINATE WITH LANDSCAPER AND BUILDING PLUMBER.

DOMESTIC SERVICE SHALL BE COPPER, TYPE K, ANNEALED AND SOFT TEMPER PER ASTM B-88. FITTINGS SHALL CONFORM TO ASTM B-88. PLUMBING ENGINEER SHALL VERIFY SIZE OF WATER SERVICE.

SADDLE WILL BE REQUIRED FOR 1.5" WATER SERVICE TAP AND SHALL CONFORM TO THE BYRON-GAINES UTILITY AUTHORITY SPECIFICATIONS.

MINIMUM COVER OVER PIPE SHALL BE 5.5'.

MATERIALS, INSTALLATION, AND TESTING OF WATER SERVICE LINES SHALL CONFORM TO THE BYRON-GAINES UTILITY AUTHORITY CONSTRUCTION SPECIFICATIONS.

PLUMBING ENGINEER SHALL VERIFY REQUIRED SIZE FOR WATER SERVICE.

GENERAL SANITARY SEWER NOTES:

SITE CONTRACTOR TO END SANITARY LATERAL 5' FROM BUILDING WITH A CLEAN-OUT AND TEMPORARY CAP. COORDINATE CONNECTION WITH BUILDING PLUMBING CONTRACTOR.

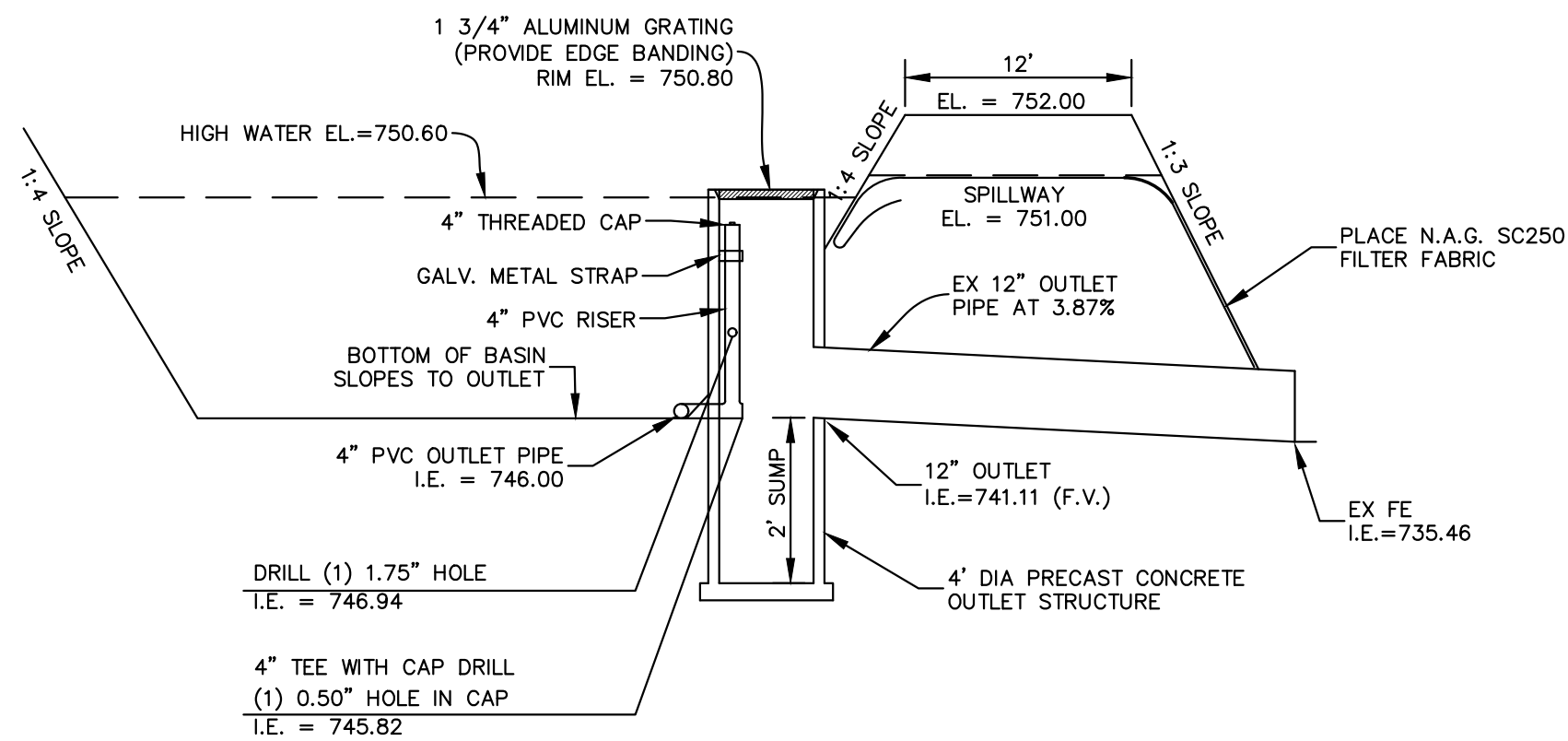
SANITARY SEWER LATERALS AND FITTINGS SHALL BE PVC PER ASTM D3034, SDR 26. JOINTS TO BE ELASTOMERIC SEALS IN ACCORDANCE WITH ASTM D3212.

CONNECTION TAPPING WYE SHALL BE CONTECH SADDLE WYE 8X6 (SW) WITH SS STRAPS COMPATIBLE WITH THE EXISTING 8-INCH TRUSS PIPE.

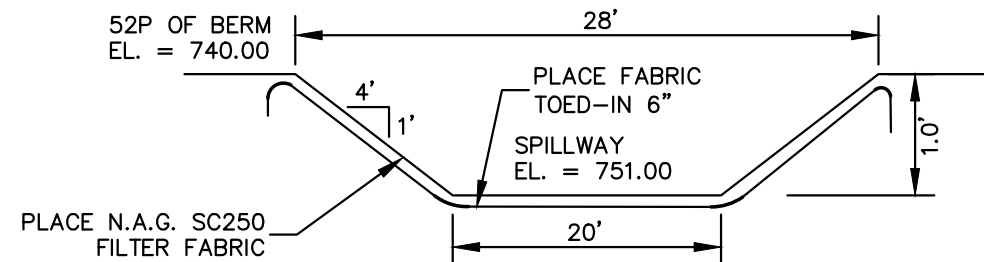
MATERIALS, INSTALLATION, AND TESTING OF SANITARY SEWER SHALL CONFORM TO THE BYRON-GAINES UTILITY AUTHORITY CONSTRUCTION SPECIFICATIONS.

MINIMUM COVER OVER SANITARY LATERAL SHALL BE 3.5'.

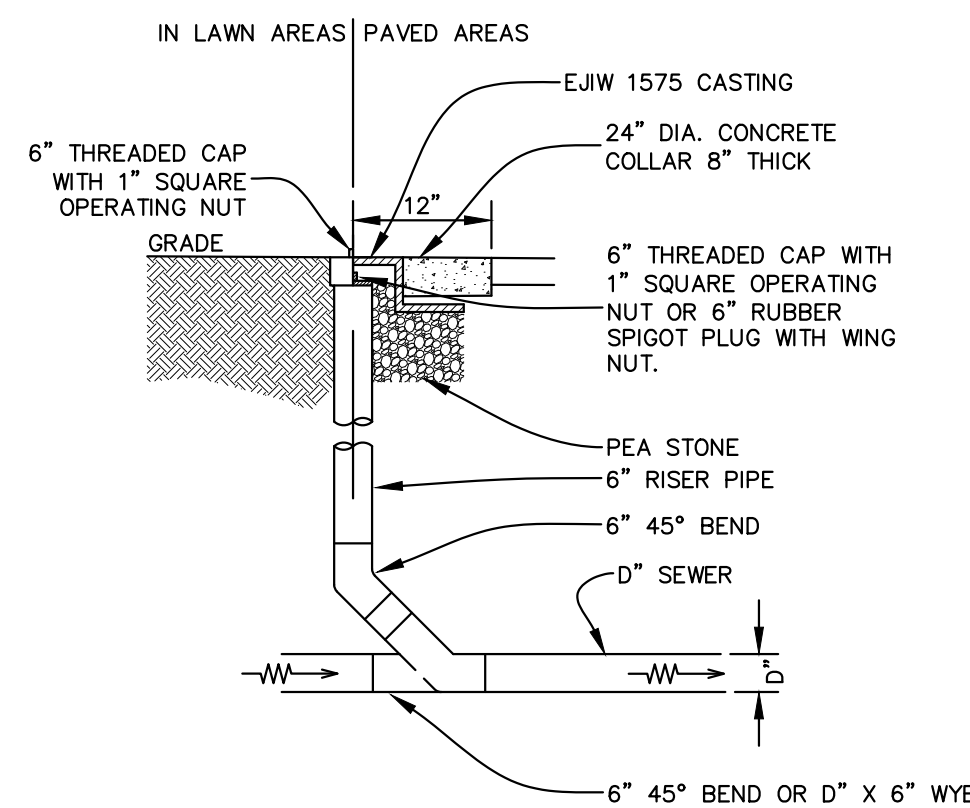
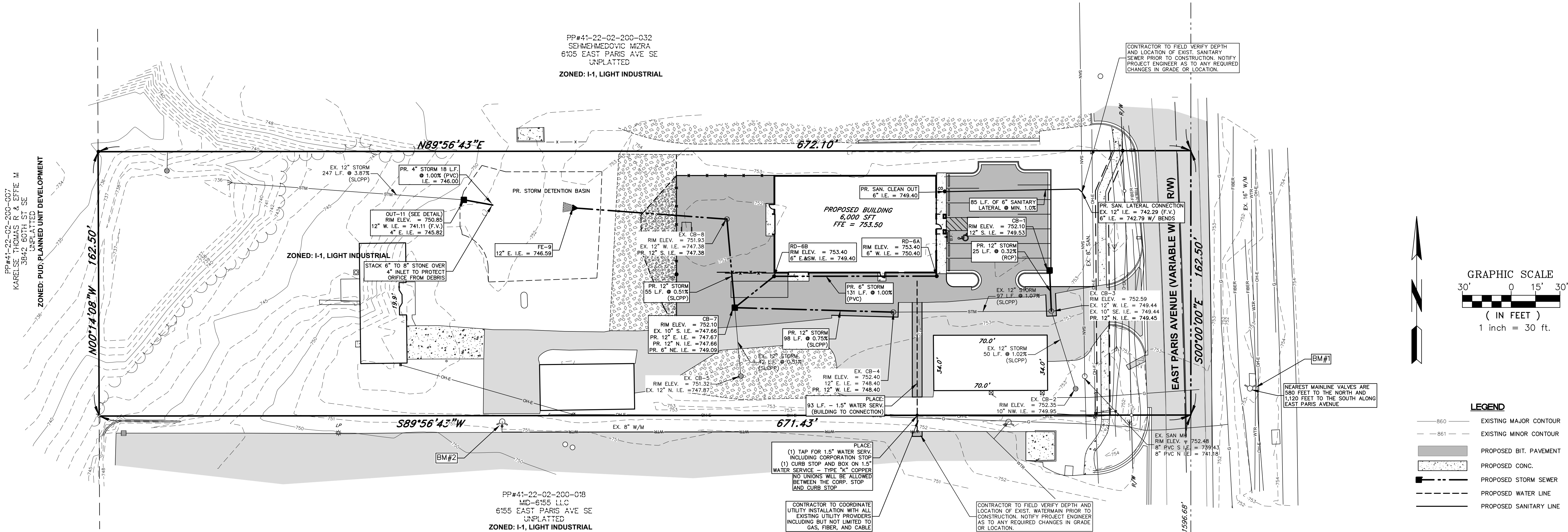
ALL WATER SERVICE AND SANITARY SEWER LATERAL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE CURRENT BYRON-GAINES UTILITY AUTHORITY CONSTRUCTION SPECIFICATIONS.



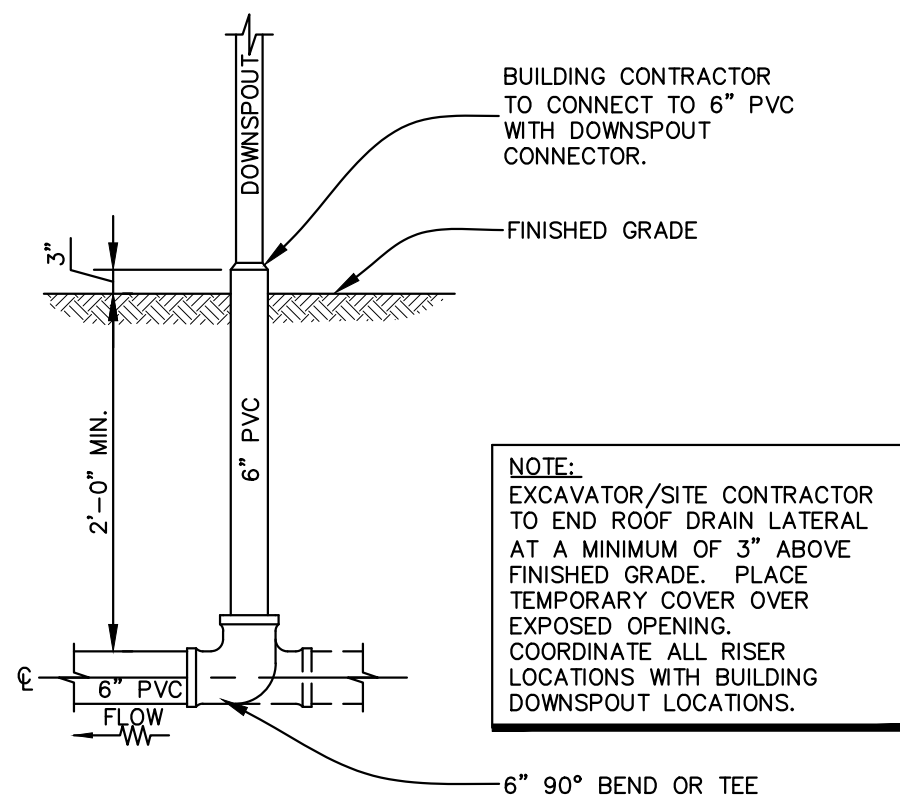
OUTLET STRUCTURE (OUT-11)
NOT TO SCALE



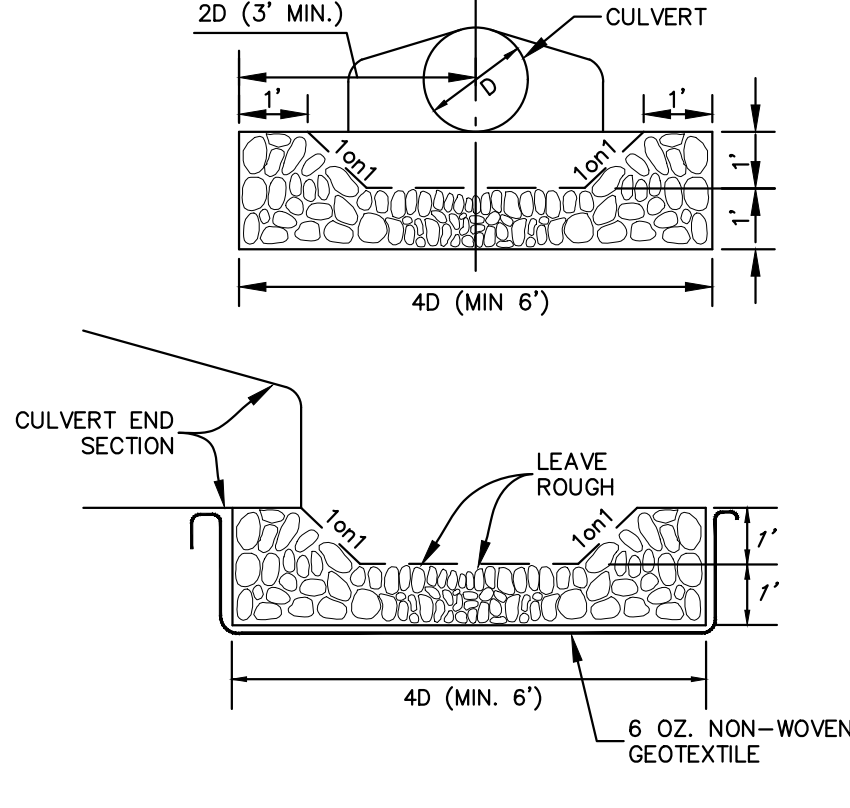
BASIN OVERFLOW SPILLWAY
NOT TO SCALE



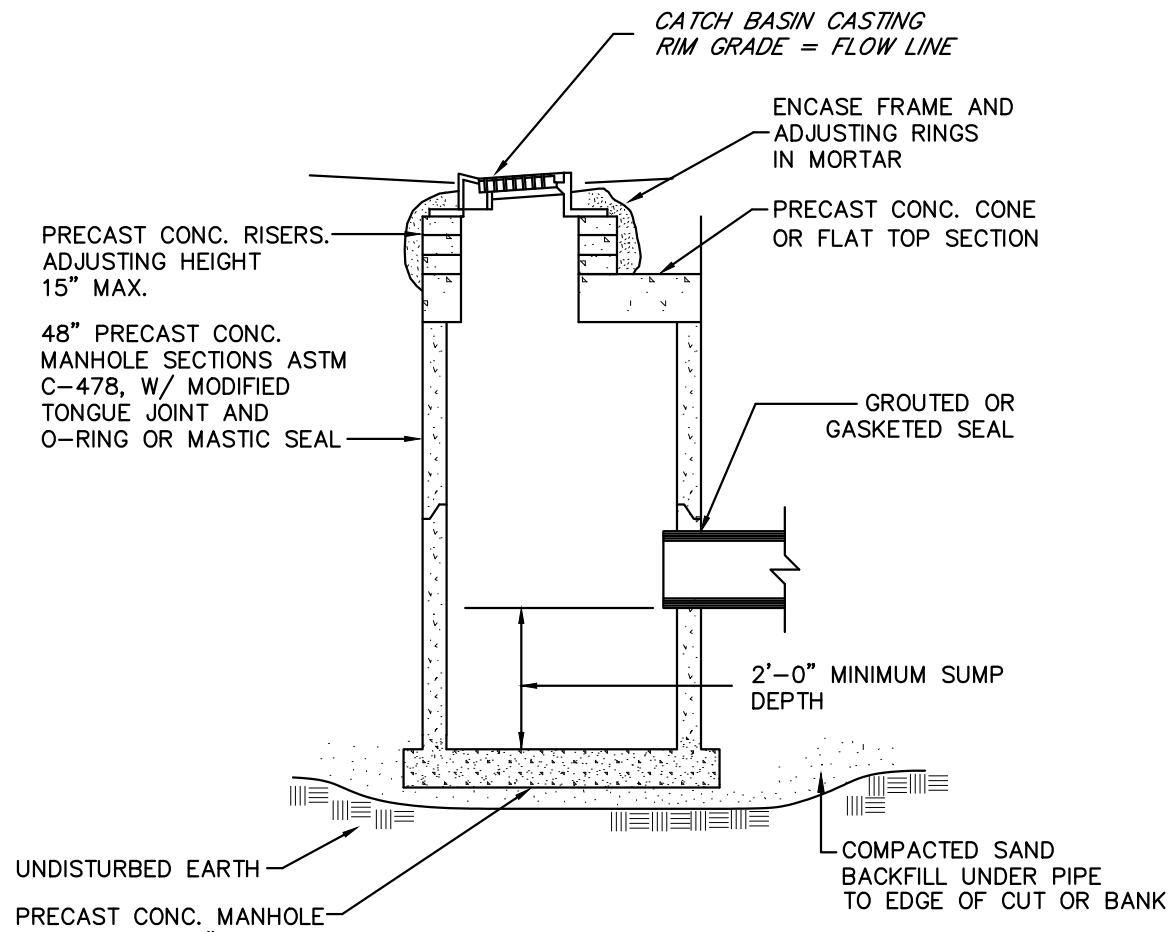
GRAVITY SEWER CLEAN OUT
NOT TO SCALE



DOWNSPOUT CONNECTION RISER
NOT TO SCALE



RIPRAP APRON
NOT TO SCALE



TYPICAL CATCH BASIN
NOT TO SCALE

BENCHMARK NO. 1 ELEV. = 754.02'
SOUTHEAST FLANGEBOLT UNDER "E" ON
THE HYDRANT LOCATED ±40' EAST OF
THE CENTERLINE OF EAST PARIS
AVENUE AND ±2' NORTH OF EXTENDED
SOUTH LINE OF EASTERLY POLE BARN
#6141 (N.A.V.D. 88)

BENCHMARK NO. 2 ELEV. = 753.07'
NORTHEAST FLANGEBOLT UNDER "M" ON
THE HYDRANT LOCATED ±420' WEST OF
THE CENTERLINE OF EAST PARIS
AVENUE AND ±7' SOUTH OF EXTENDED
SOUTH LINE OF WESTERLY POLE BARN
#6141 (N.A.V.D. 88)

REVISIONS:

DRAWN BY: YS
APPROVED BY: MC
DATE: FEBRUARY 1, 2024

REVISIONS:
APRIL 11, 2024 - PER TOWNSHIP COMMENTS

Rooston & Associates
ENGINEERING AND ARCHITECTURE

SITE UTILITY PLAN
6141 EAST PARIS SE
PART OF SECTION 2, T5N, R11W
GAINES TOWNSHIP, KENT COUNTY, MI

CLIENT:
Jim Rapa - Stone Pro LLC
800 N Old US 23 Hwy
Brighton, MI 48114
616-329-0427

PROJECT NO.
231197

C-103



Know what's below.
Call before you dig.

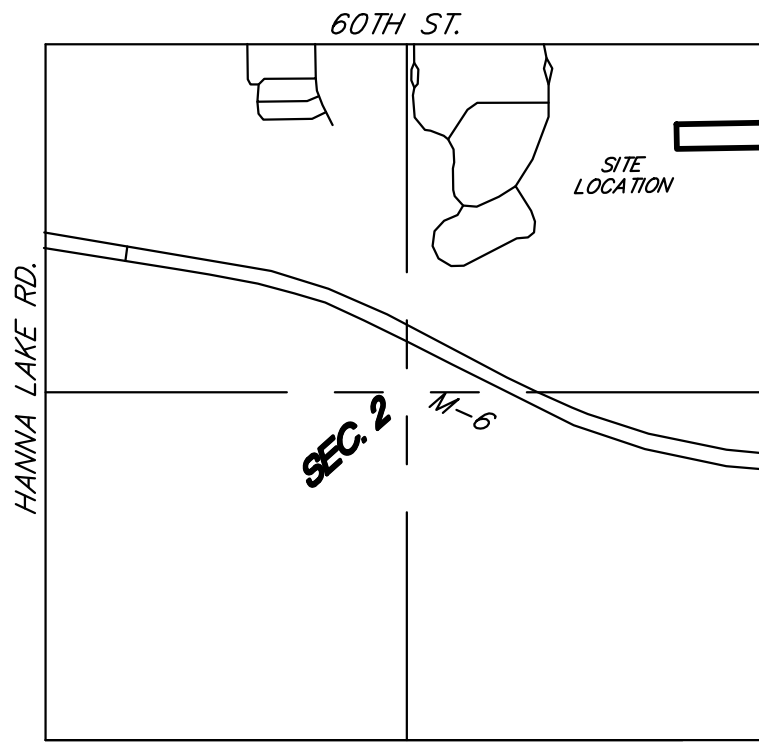
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AVENUE AND ±7' SOUTH OF EXTENDED
SOUTH LINE OF WESTERLY POLE BARN
#6141 (N.A.V.D. 88)

LEGAL DESCRIPTION FROM SUN TITLE AGENCY OF MICHIGAN, LLC TITLE COMMITMENT
NO. 223199, EFFECTIVE DATE OF JUNE 26, 2023:

That part of the East 1/2, Northeast 1/4, Section 2, T5N, R11W, Gaines Township,
Kent County, Michigan, described as: Beginning at a point on the East line of said
Northeast 1/4, which is S00°00'00"E 487.5 feet from the Northeast corner of said
Section; thence S00°00'E 162.5 feet along said East line; thence S89°56'43"W
671.43 feet; thence N00°14'08"W 162.5 feet; thence N89°56'43"E 672.10 feet to
the Place of Beginning.

NOTE:
- REFER TO MDOT SOIL EROSION & SEDIMENTATION CONTROL MANUAL.
- CONTRACTOR SHALL PLACE NA-GREEN S-150 (OR APPROVED EQUAL) EROSION CONTROL BLANKET ON ALL
SLOPES 1 ON 3 OR STEEPER.
- SITE SOILS CONSIST OF LOAMY FINE SAND, SANDY LOAM, AND SILTY CLAY LOAM PER USDA NRCS MAPS.
- TOTAL DISTURBED AREA IS 0.83 ACRES.
- FISK DRAIN IS LOCATED APPROXIMATELY 300 FEET TO THE WEST.
- CONTRACTOR SHALL SWEEP THE STREET OF ANY DIRT TRACKED ONTO IT BY THE CONSTRUCTION OPERATION
AS NEEDED AND AS DIRECTED BY COUNTY SESC AGENT.
- THESE MEASURES ARE MINIMUM REQUIRED. CONTRACTOR MAY NEED ADDITIONAL MEASURES DEPENDING ON
WEATHER, TIMING, ETC.



LOCATION MAP
NOT TO SCALE

ADDRESS:
6141 EAST PARIS AVE SE,
CALEDONIA, MI 49316

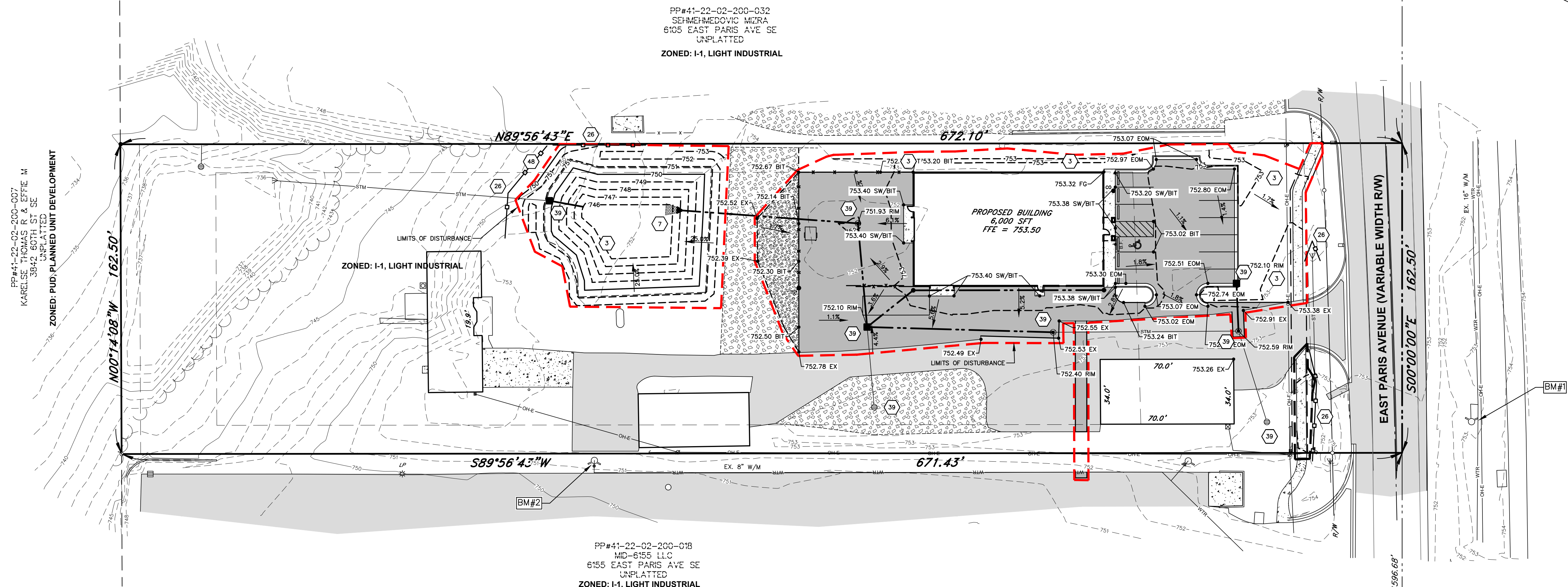
GRAPHIC SCALE
30' 0 15' 30'
(IN FEET)
1 inch = 30 ft.

SOIL EROSION CONTROL KEY

- 3 PERMANENT/TEMPORARY SEEDING
- 7 RIP RAP
- 26 GEOTEXTILE SILT FENCE
- 39 INLET PROTECTION WITH FILTER FABRIC
- 48 SOIL EROSION CONTROL BLANKET

LEGEND

- 750 EXISTING MAJOR CONTOUR
- 751 EXISTING MINOR CONTOUR
- 750 PROPOSED MAJOR CONTOUR
- 751 PROPOSED MINOR CONTOUR
- PROPOSED BIT. PAVEMENT
- PROPOSED CONC.
- PROPOSED STORM SEWER
- DRAINAGE ARROW
- PROPOSED SPOT ELEVATION
- GRADE BREAK LINE
- SIDEWALK RAMP W/ LANDINGS AT EACH END
- LIMITS OF DISTURBANCE



CONSTRUCTION SEQUENCE	2024												REMARKS
	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC	JAN	
INSTALL SILT FENCING AND INLET PROTECTION													REQUIRED
CLEAR VEGETATION AND STRIP AND STOCKPILE TOPSOIL													
ROUGH GRADE SITE													
CONSTRUCT BUILDING													
INSTALL UTILITIES													
INSTALL CURBING AND PAVEMENT													
FINISH GRADE, PLACE PLANTINGS, TOPSOIL AND SEED, AND MULCH BLANKETS													
CLEAN PAVEMENTS AND STORM SEWER													
REMOVE TEMPORARY EROSION CONTROL													

STORM WATER MANAGEMENT SYSTEM MAINTENANCE
THE STORM SEWER AND DETENTION SYSTEMS MUST BE INSPECTED AND MAINTAINED
ON A REGULAR BASIS FOR OPTIMAL PERFORMANCE. SEE CHART BELOW FOR
SUGGESTED INTERVALS.

TASKS	COMPONENTS	SCHEDULE											
		BASIN	DOCK	SLOPES	BASIN	BOTTOM	BASIN	INLETS	DOCK	OUTLET	STRUCTURES	CATCH	STORM
PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE OF SYSTEM													
INSPECT FOR ACCUMULATION		●	●	●	●	●	●	●	●	●	●	●	ANNUALLY
REMOVE SEDIMENT ACCUMULATION		●	●	●	●	●	●	●	●	●	●	●	EVERY 5-10 YEARS AS NEEDED
INSPECT FOR DEBRIS (DEAD VEGETATION AND TRASH)	●	●	●	●	●	●	●	●	●	●	●	●	EARLY SPRING, FALL AND AFTER MAJOR STORMS
CLEAN DEBRIS	●	●	●	●	●	●	●	●	●	●	●	●	AS NEEDED
INSPECT FOR EROSION ON BANKS AND BOTTOM	●	●	●	●	●	●	●	●	●	●	●	●	EARLY SPRING, FALL AND AFTER MAJOR STORMS
REESTABLISH PERMANENT VEGETATION ON ERODED SLOPES	●	●	●	●	●	●	●	●	●	●	●	●	AS NEEDED
RAKE OUT DEAD VEGETATION		●	●	●	●	●	●	●	●	●	●	●	ANNUALLY-EARLY SPRINGS
REPLACE STONE RIP-RAP		●	●	●	●	●	●	●	●	●	●	●	AS NEEDED
MOWING	●	●	●	●	●	●	●	●	●	●	●	●	AS NEEDED (MIN. ANNUALLY)

PROJECT NOTES AND SPECIFICATIONS

GENERAL NOTES

- A) ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, CODES, RULES AND REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED BY STATE AND LOCAL AGENCIES RELATED TO SOIL EROSION AND SEDIMENTATION.
- B) ALL ITEMS OF WORK NOT COVERED BY THESE SPECIFICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE GAINES TOWNSHIP SPECIFICATIONS AND IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE OF MICHIGAN DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE MOST STRINGENT REQUIREMENTS AS LISTED IN THE PLANS AND SPECIFICATIONS SHALL APPLY.
- C) ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. EXACT LOCATIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE BEGINNING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS DIG AT 811/482-7171 AT LEAST 3 WORKING DAYS PRIOR TO ANY UNDERGROUND CONSTRUCTION.
- D) CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER 48 HOURS BEFORE WORK BEGINS.
- E) ROOSEN AND ASSOCIATES AS THE DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE OR LIABLE FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE DRAWINGS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH RISE FROM OTHERS' FAILURE TO OBTAIN AND FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.
- F) CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY, CONSTRUCTION MEANS, CONTROLS, TECHNIQUES, SEQUENCES AND PROCEDURES.

GENERAL SPECIFICATIONS

- A) ALL CONSTRUCTION AREAS SHALL BE CLEARED OF ALL TREES, BRUSH, WEEDS, ETC. ALL SPOIL MATERIAL IS TO BE DISPOSED OF IN AREAS DESIGNATED BY THE OWNER AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- B) STRIP ALL TOPSOIL AND ORGANIC MATERIAL ON SITE WITHIN THE CONSTRUCTION LIMITS OF THE PROJECT WHERE GRADES ARE TO BE CHANGED, OR IN AREAS TO BE IMPROVED. IF MATERIAL IS FREE OF ROOTS, ROCKS AND DEBRIS, AND IS APPROVED BY THE ENGINEER, IT SHALL BE TEMPORARILY STOCKPILED ON SITE FOR LATER USE.
- C) CONSTRUCTION ACCESS AND MATERIAL STORAGE IS LIMITED TO THE AREAS DESIGNATED ON THE DRAWINGS OR AS APPROVED BY THE OWNER.
- D) WHERE IT IS NECESSARY TO WORK OUTSIDE THE PROPERTY CONTROLLED BY THE OWNER, THE CONTRACTOR SHALL OBTAIN LEGAL AUTHORITY FROM ADJACENT PROPERTY OWNERS TO COMPLETE THE WORK AS OUTLINED IN THESE DOCUMENTS.
- E) ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE BROUGHT TO FINISH GRADES AS SHOWN ON THE DRAWINGS. ALL AREAS DISTURBED SHALL BE RESTORED WITH A MINIMUM OF 4" OF TOPSOIL, SEEDING AND MULCHED.
- F) THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION ON THE NEED FOR IMPORTED OR EXPORTED MATERIAL. THE PROPOSED GRADING PLAN MAY NOT PROVIDE FOR A "BALANCED" SITE.
- G) ALL AREAS DISTURBED DUE TO SITE ACCESS SHALL BE RESTORED TO THE PRECONSTRUCTION CONDITION OR BETTER.
- H) BACKFILL AND COMPACTION: ALL BACKFILL SHALL BE CLEAN, FREE OF LARGE ROCKS, DEBRIS AND ORGANIC MATERIAL. COMPACT ALL BACKFILL TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST, ASTM D-1557. BACKFILL SHALL BE PLACED IN A MAXIMUM OF 12" LIFTS.
- I) STORM SEWER CATCH BASINS TO BE 4' DIA., UNLESS OTHERWISE NOTED. STORM SEWER OUTLETS TO BE 2' DIA., UNLESS OTHERWISE NOTED. ALL CATCH BASINS AND OUTLET STRUCTURES SHALL HAVE A 2' DEEP SUMP. CATCH BASIN GRATE SHALL BE E.J.I.W. #1040 TYPE M2 IN PAVED AREAS AND E.J.I.W. #7045 TYPE M1 IN CURB AND GUTTER AREAS.

SITE CONCRETE FLATWORK

- A) MATERIALS: READY MIXED CONCRETE: ASTM C94. MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3,500 PSI FOR ALL EXTERIOR CONCRETE. 1. SLUMP RANGE: 2 INCHES TO 4 INCHES. 2. AIR CONTENT: 4 PERCENT TO 7 PERCENT. 3. LIMESTONE AGGREGATE SHALL BE USED.
- B) CURING MATERIAL: ASTM C171 WHITE, OPAQUE POLYETHYLENE FILM TYPE.
- C) EXPANSION JOINT FILLERS: SHALL BE ASTM D1751 PREFORMED, BITUMINOUS FIBER TYPE WITH EXPANSION BOARD CAP AND REMOVABLE TOP CAP SECTION.
- D) CONCRETE SEALER: SEALANT TO BE 2-PART URETHANE PAVING SEALANT. SEALANT TO BE POURABLE, CHEMICALLY CURING COMPLYING WITH FS SS-5-200 WITH MINIMUM MOVEMENT CAPABILITY OF 12.5 PERCENT. HYDROZO, ENVIROSEAL 40.
- E) CONSTRUCTION JOINTS FLATWORK 1) MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS 100 FEET, UNLESS OTHERWISE SHOWN. SCORE CONTROL JOINTS EQUAL TO THE WIDTH OF THE WALK, OR DRIVE BUT NOT TO EXCEED THE LESSER OF 12 FEET OR 24 TIMES THE THICKNESS. 2) INSTALL EXPANSION JOINTS MATERIAL AT ABUTMENT TO CURBS AND ADJACENT STRUCTURES, UNLESS OTHERWISE SHOWN.
- F) CONSTRUCTION JOINTS CURBS AND GUTTERS 1) MAXIMUM CONSTRUCTION BETWEEN EXPANSION JOINTS 20 FEET, STRAIGHT CURB 10 FEET.
- G) PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAIL SHOWN ON THIS DRAWING.
- H) PRIOR TO PLACEMENT OF GRAVEL, THE SAND SUBBASE SHALL BE ROLLED TO OBTAIN A MINIMUM OF 95% OF MAXIMUM DENSITY PER THE MODIFIED PROCTOR TEST, ASTM-D-1557
- I) PRIOR TO PLACEMENT OF ASPHALT, THE GRAVEL SHALL BE PROOF ROLLED AND COMPACTED TO 98% OF MAXIMUM UNIT DENSITY PER THE MODIFIED PROCTOR TEST, ASTM-D-1557
- STRIPING
- A) PARKING LOT STRIPING SHOULD FOLLOW THE BELOW COLOR SCHEDULE.
- PARKING AND STORAGE LOT STALLS SHOULD BE STRIPED IN YELLOW PAINT.
- BARRIER-FREE STALLS SHOULD BE STRIPED IN BLUE PAINT.
- B) FOR UNCURED SURFACES USE SETFAST WATERBORNE TRAFFIC MARKING PAINT.

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SITE GRADING PLAN
6141 EAST PARIS SE
PART OF SECTION 2, T5N, R11W
GAINES TOWNSHIP, KENT COUNTY, MI

CLIENT:
Jim Rapa - Stone Pro LLC
800 N Old US 23 Hwy
Brighton, MI 48114
616-329-0427

PROJECT NO.
231197

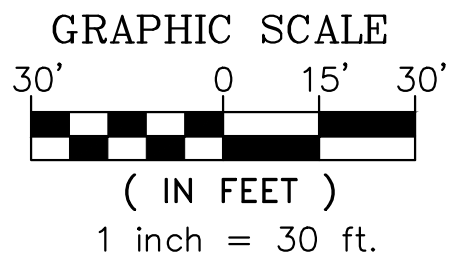
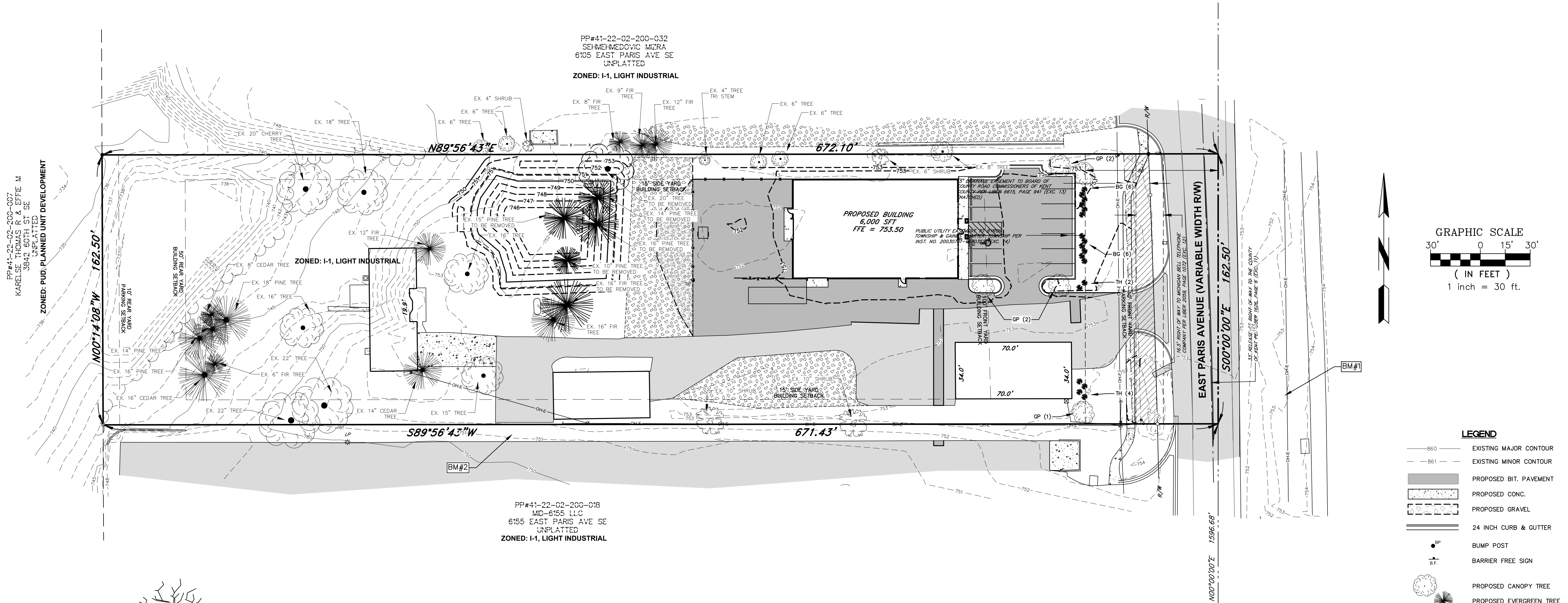
C-104



Know what's below.
Call before you dig.

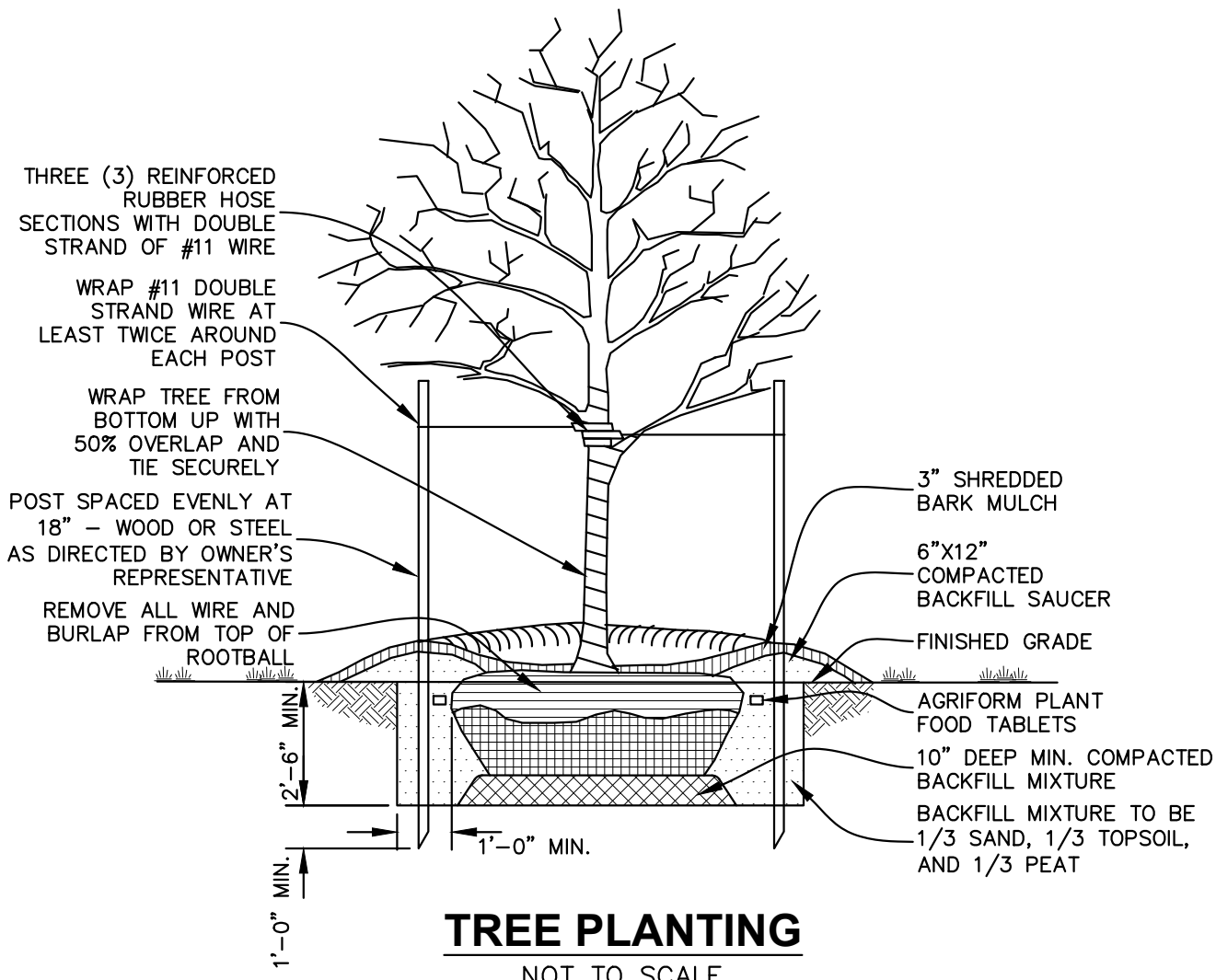
BENCHMARK NO. 1 ELEV. = 754.02'
SOUTHEAST FLANGEBOLT UNDER "E" ON
THE HYDRANT LOCATED ±40' EAST OF
THE CENTERLINE OF EAST PARIS
AVENUE AND ±2' NORTH OF EXTENDED
SOUTH LINE OF EASTERLY POLE BARN
#6141 (N.A.V.D. 88)

BENCHMARK NO. 2 ELEV. = 753.07'
NORTHEAST FLANGEBOLT UNDER "M" ON
THE HYDRANT LOCATED ±420' WEST OF
THE CENTERLINE OF EAST PARIS
AVENUE AND ±7' SOUTH OF EXTENDED
SOUTH LINE OF WESTERLY POLE BARN
#6141 (N.A.V.D. 88)



LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED BIT. PAVEMENT
- PROPOSED CONC.
- PROPOSED GRAVEL
- 24 INCH CURB & GUTTER
- BUMP POST
- BARRIER FREE SIGN
- PROPOSED CANOPY TREE
- PROPOSED EVERGREEN TREE
- PROPOSED UNDERSTORY TREE
- PROPOSED EVERGREEN SHRUB



PP#41-22-02-200-018
MD-6155 LLC
6155 EAST PARIS AVE SE
UNPLATTED
ZONED: I-1, LIGHT INDUSTRIAL

FRONT YARD LANDSCAPING			
SPECIES NAME	BASE VALUE POINT	QUANTITY	TOTAL POINT
PRINCETON SENTRY GINKGO	10	3	30
PINK SPIRES FLOWERING CRAB	6	2	12
HICKS YEW	3	2	6
GREEN VELVET BOXWOOD	3	12	36
TOTAL POINT			84

PARKING LOT LANDSCAPING			
SPECIES NAME	BASE VALUE POINT	QUANTITY	TOTAL POINT
PRINCETON SENTRY GINKGO	10	2	20
TOTAL POINT			20

NOTES:

- ALL LANDSCAPING SHALL BE INSTALLED BY A QUALIFIED LANDSCAPE CONTRACTOR TO THE SIZE SPECIFIED ON THE LANDSCAPE PLAN. SMALLER SIZES WILL BE REJECTED.
- ALL PLANTINGS SHALL BE MULCHED WITH 3" SHREDDED PREMIUM HARDWOOD BARK MULCH. TREES IN LAWN AREAS SHALL RECEIVE A 6" DIAMETER BARK RING 3" DEEP. THE LANDSCAPE CONTRACTOR SHALL REMOVE ANY TWINE THAT IS WRAPPED AROUND THE TRUNK OF A TREE OR SHRUB AS WELL AS TOP THIRD OF ANY BURLAP. REMOVE EXCESS SOIL ON THE TOP OF THE ROOT BALL TO EXPOSE THE ROOT FLARE OR FIRST LAYER OF ROOTS PRIOR TO PLANTING. USE A WIRE CUTTER TO MAKE 35 CUTS IN THE WIRE BASKET TO ALLOW ROOTS TO GROW THROUGH.
- PLANTING AREAS SHALL BE EDGED WITH A MECHANICAL BED EDGER AT A DEPTH OF 4" TO DEFINE BORDER FOR SHREDDED BARK MULCH.
- PARKING ISLANDS SHALL BE BACK FILLED WITH AT LEAST 24" OF TOPSOIL. AMEND THE TOPSOIL WITH COMPOSTED MANURE AND MIX INTO THE TOP SOIL AT A DEPTH OF 6-12". ANY AGGREGATE OR STONE FROM THE CONSTRUCTION OF THE PARKING LOT SHALL BE REMOVED PRIOR TO BACKFILL.
- LAWN AREAS SHALL RECEIVE AT LEAST 4" OF TOPSOIL AND HYDROSEED. CHECK WITH SPECIFICATIONS FOR TOPSOIL AVAILABILITY OR CONTACT PROJECT MANAGER. TOPSOIL FOR LAWNS SHALL BE APPROPRIATE FOR GROWING AND SUSTAINING A HEALTHY LAWN. ALL LAWNS EXCLUDING THE DETENTION BASINS SHALL BE HYDROSEED WITH A SEED BLEND CONSISTING OF 30% KENTUCKY BLUEGRASS, 20% PERENNIAL RYEGRASS, 10% HARD FESCUE, 20% CREEPING RED FESCUE AND 20% CHEWINGS FESCUE.
- MAINTENANCE OF THE LANDSCAPE SHALL BE PROVIDED BY THE OWNER AND INCLUDING FERTILIZING OF LAWN AND PLANT MATERIAL, YEARLY PRUNING, TOP DRESSING OF MULCH AREAS EVERY OTHER YEAR, AND PROVIDE 1" OF WATER PER WEEK DURING THE GROWING SEASON.
- PLANT MATERIALS SHALL BE CHOSEN AND INSTALLED IN ACCORDANCE WITH STANDARDS RECOMMENDED BY THE COUNTY COOPERATIVE EXTENSION SERVICE OR AMERICAN NURSERY ASSOCIATION.

REQUIRED LANDSCAPING NOTES:

- FRONT YARD LANDSCAPING:
 - REQUIRED POINTS CALCULATED BY FRONTAGE LENGTH DIVIDED BY TWO. (162.58 LFT/2 = 81.29)
 - 82 POINTS REQUIRED AND 84 POINTS PROVIDED.
 - 3 CANOPY TREES AND 18 EVERGREEN SHRUBS PROVIDED (13 SPACES x 1.5 = 19.5)
- PARKING LOT LANDSCAPING:
 - REQUIRED POINTS CALCULATED BY 1.5 TIMES THE TOTAL NUMBER OF PARKING PROVIDED. (13 SPACES x 1.5 = 19.5)
 - 20 POINTS REQUIRED AND PROVIDED.
 - 2 CANOPY TREES PROVIDED
- BUFFER LANDSCAPING:
 - 1 TREE PER 20 LFT AND 1 ROW OF EVERGREEN SHRUBS REQUIRED
 - PER TOWNSHIP STAFF EXISTING VEGETATION IS SUFFICIENT
- ALL DISTURBED AREAS TO BE RESTORED WITH TOPSOIL, SEED, AND MULCH
- ALL REQUIRED LANDSCAPING MATERIALS SHALL CONFORM TO GAINES TOWNSHIP LANDSCAPING ORDINANCE

PLANT SCHEDULE:

TREES	COMMON NAME	SIZE	CONTAINER	QUANTITY
GP	PRINCETON SENTRY GINKGO	2" CAL.	B&B	5
SHRUBS				
TH	HICKS YEW	24"	POT	6
BG	GREEN VELVET BOXWOOD	24"	POT	12

LANDSCAPE PLAN
6141 EAST PARIS SE
PART OF SECTION 2, T5N, R11W
GAINES TOWNSHIP, KENT COUNTY, MI

CLIENT:
Jim Rapa - Stone Pro LLC
800 N Old US 23 Hwy
Brighton, MI 48114
616-329-0427

PROJECT NO.
231197

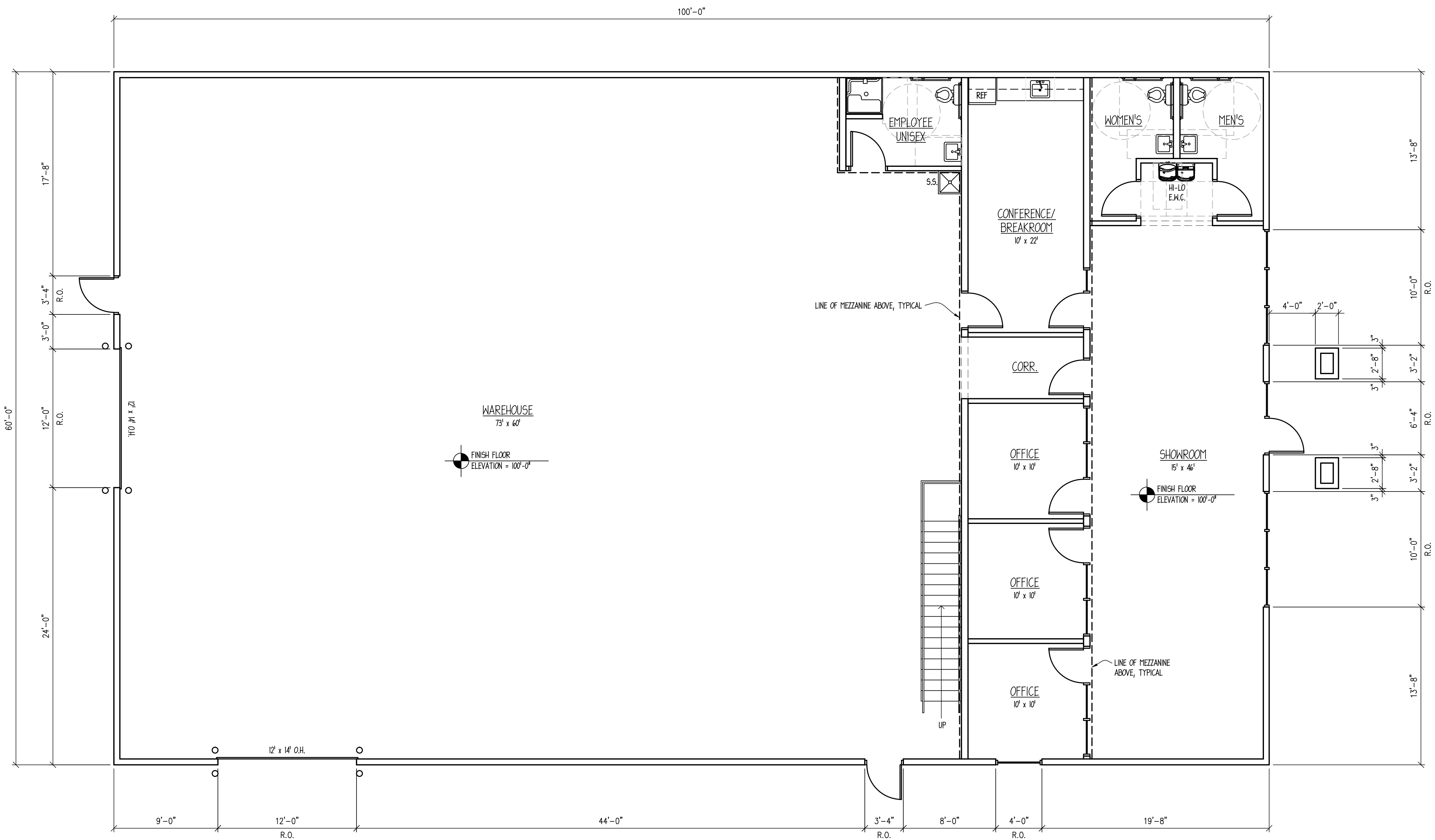
L-101

DRAWN BY: YS
APPROVED BY: MC
DATE: FEBRUARY 1, 2024

REVISIONS:
APRIL 11, 2024 - PER TOWNSHIP COMMENTS

Rooston & Associates
SURVEYING AND ENGINEERING

6035 PLAINFIELD AVE SE
GRAND RAPIDS, MI 49505
TEL: (616) 361-7220



PRELIMINARY
NOT FOR CONSTRUCTION

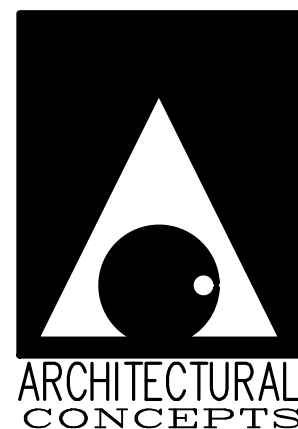
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DATE	REVISION
12-05-2023	FOR REVIEW
12-06-2023	FOR REVIEW
12-07-2023	FOR REVIEW

PROPOSED BUILDING FOR:



6141 EAST PARIS AVE. S.E.
CALEDONIA, MI 49316



ARCHITECTURE
PLANNING
ENGINEERING

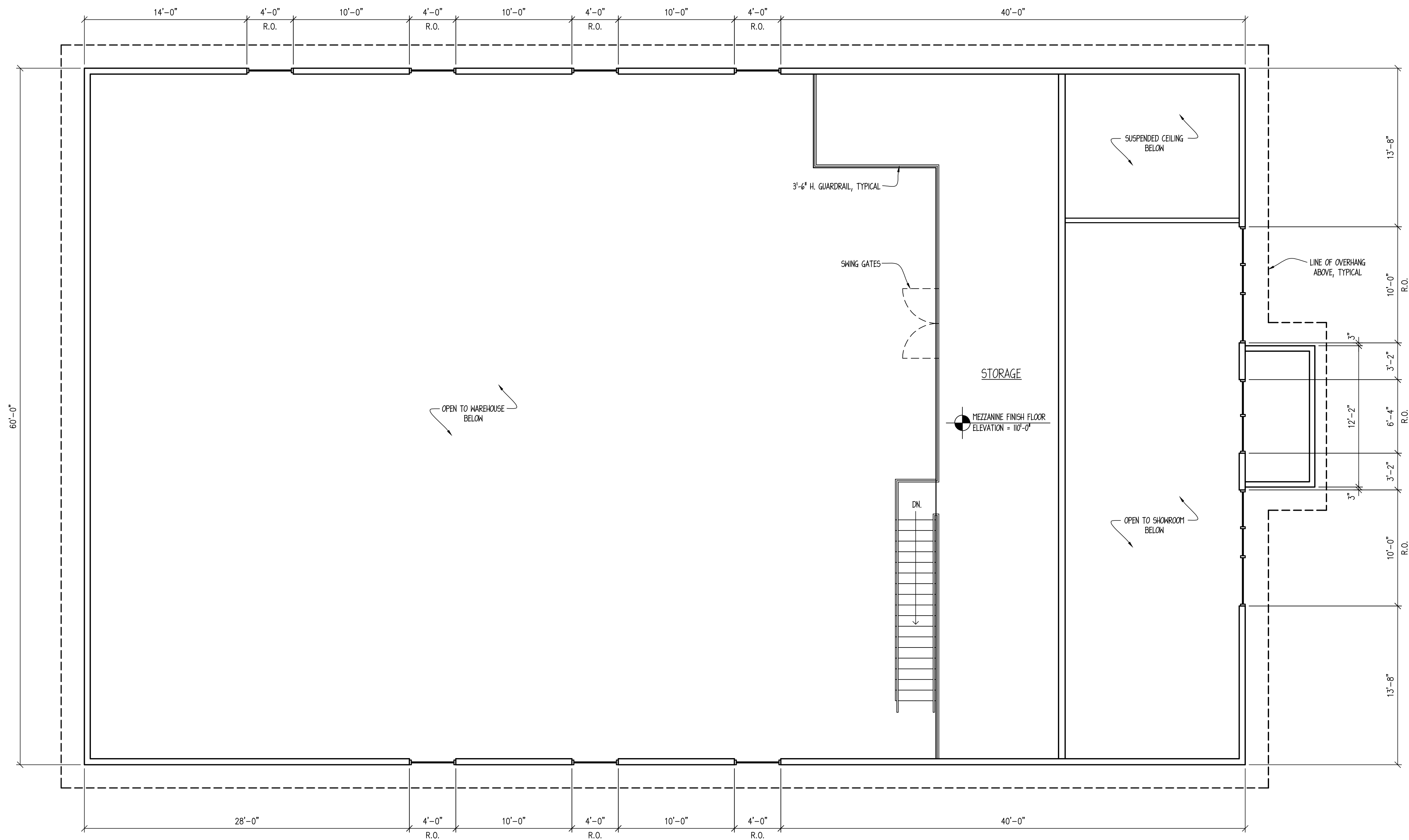
6650 CROSSING DRIVE, S.E.
GRAND RAPIDS, MI 49508
(616) 554-1222
FAX (616) 554-1225

DATE: DECEMBER 5, 2023 PROJECT No. 23-88

SHEET No.

A-1





PRELIMINARY
NOT FOR CONSTRUCTION

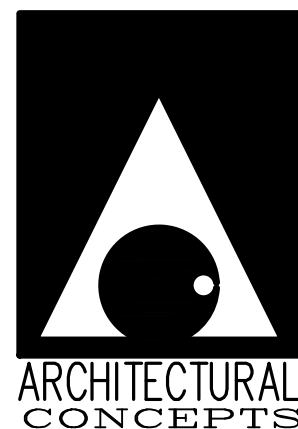
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DATE	REVISION
12-05-2023	FOR REVIEW
12-06-2023	FOR REVIEW
12-07-2023	FOR REVIEW

PROPOSED BUILDING FOR:



6141 EAST PARIS AVE. S.E.
CALEDONIA, MI 49316



ARCHITECTURE
PLANNING
ENGINEERING

6650 CROSSING DRIVE, S.E.
GRAND RAPIDS, MI 49508
(616) 554-1222
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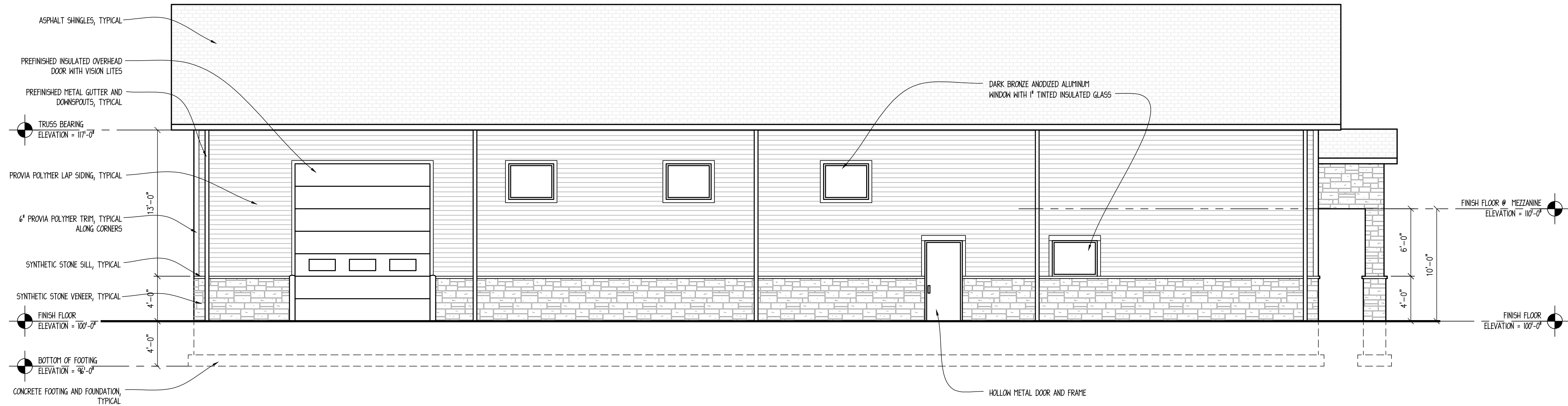
DATE
DECEMBER 5, 2023

PROJECT No.
23-88

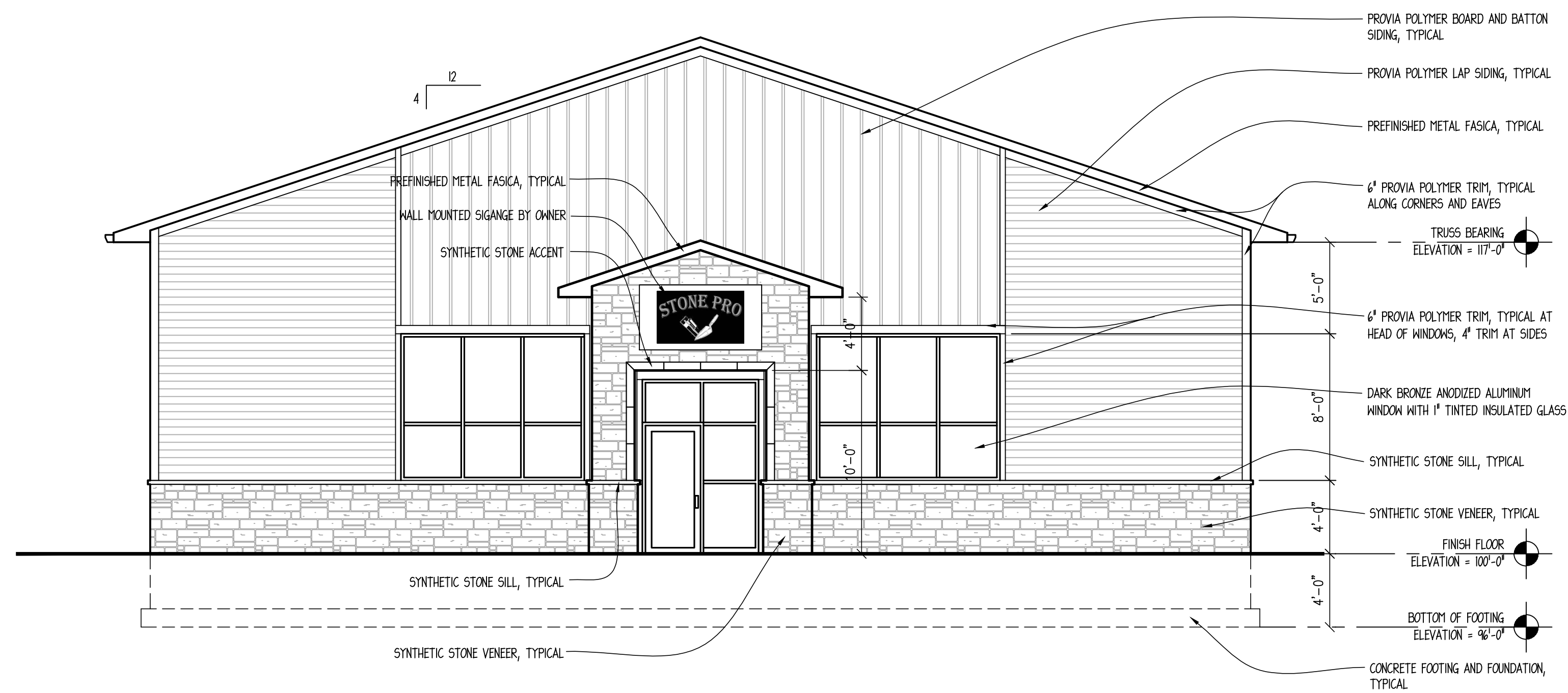
SHEET No.

A-1.5





2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



1 EAST ELEVATION
SCALE: 3/16" = 1'-0"

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DATE	REVISION
12-05-2023	FOR REVIEW
12-06-2023	FOR REVIEW
12-07-2023	FOR REVIEW

PROPOSED BUILDING FOR:



6141 EAST PARIS AVE. S.E.
CALEDONIA, MI 49316

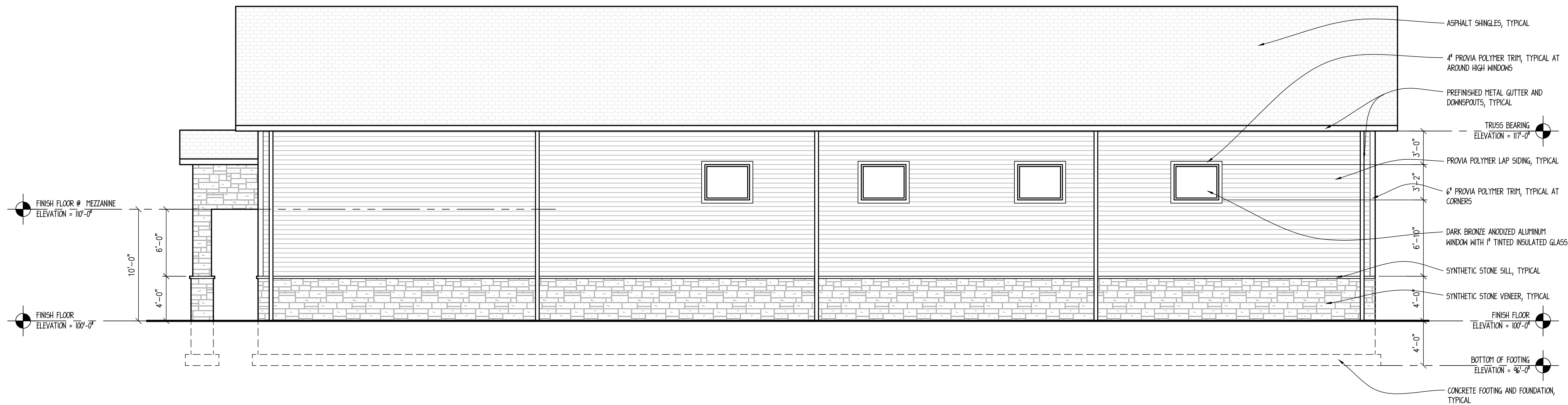


ARCHITECTURE
PLANNING
ENGINEERING
6650 CROSSING DRIVE, S.E.
GRAND RAPIDS, MI 49508
(616) 554-1222
FAX (616) 554-1225

DATE: DECEMBER 5, 2023 PROJECT No. 23-88

SHEET No.

A-2



PRELIMINARY
NOT FOR CONSTRUCTION

2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

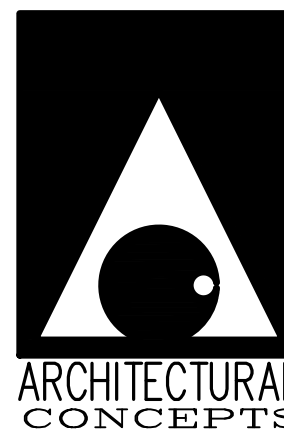
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DATE	REVISION
12-05-2023	FOR REVIEW
12-06-2023	FOR REVIEW
12-07-2023	FOR REVIEW

PROPOSED BUILDING FOR:



6141 EAST PARIS AVE. S.E.
CALEDONIA, MI 49316



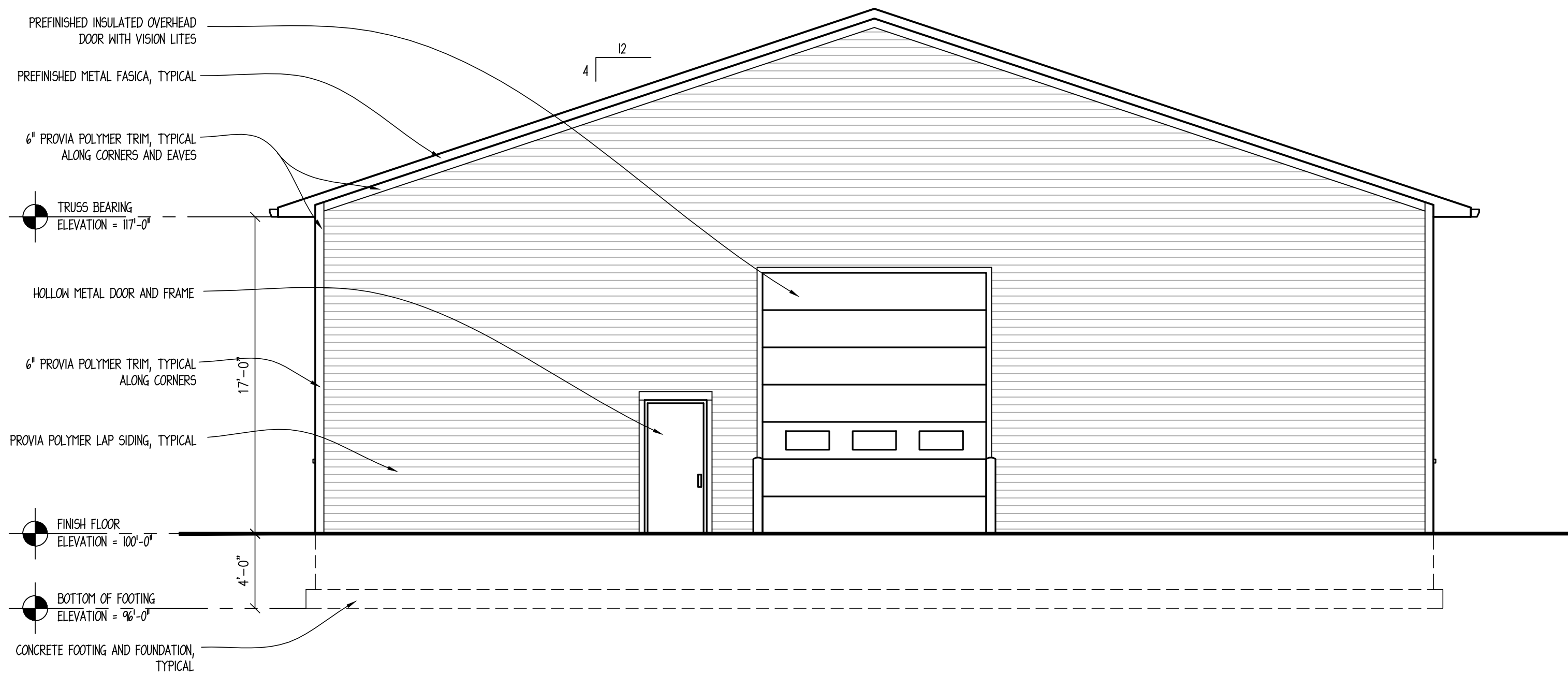
ARCHITECTURE
PLANNING
ENGINEERING

6650 CROSSING DRIVE, S.E.
GRAND RAPIDS, MI 49508
(616) 554-1222
FAX (616) 554-1225

DATE DECEMBER 5, 2023 PROJECT No. 23-88

SHEET No.

A-3



1 WEST ELEVATION
SCALE: 3/16" = 1'-0"



D-Series Size 1 LED Area Luminaire



Catalog Number	
Notes	
Type	

Hit the tab key or mouse over the page to see all interactive elements.

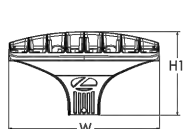
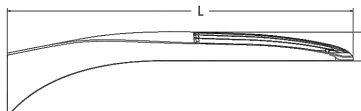
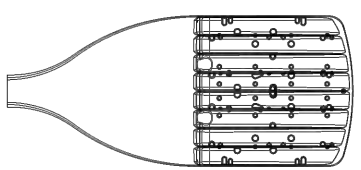
Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Specifications

EPA: 0.69 ft²
(0.06 m²)
Length: 32.71"
(83.1 cm)
Width: 14.26"
(36.2 cm)
Height H1: 7.88"
(20.0 cm)
Height H2: 2.73"
(6.9 cm)
Weight: 34 lbs
(15.4 kg)



Ordering Information

EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX1 LED	Series	LEDs	Color temperature ¹	Color Rendering Index ⁴	Distribution	Voltage	Mounting
DSX1 LED	Forward optics	(this section 70CRI only)					
P1	P6	30K 3000K	70CRI	T1S Type I short	T5M Type V medium	MVOLT (120V-277V) ¹⁴	SPA Square pole mounting (Ø8 drilling)
P2	P7	40K 4000K	70CRI	T2M Type I medium	T5W Type V wide	HVOLT (347V-480V) ¹⁴	RPA Round pole mounting (Ø8 drilling)
P3	P8	50K 5000K	70CRI	T3M Type II medium	BLC3 Type II backlight control ¹	120V ^{14,15}	SPA Square pole mounting (Ø8 drilling)
P4	P9	(this section 80CRI only, extended lead times apply)	80CRI	T3LG Type II low glare ¹	BLC4 Type II backlight control ¹	208V ^{14,15}	SPA Square pole mounting (Ø8 drilling)
P5	Rotated optics	27K 2700K	80CRI	T4M Type IV medium	LCCO Left corner cutoff ¹	240V ^{14,15}	RPA Round pole mounting (Ø5 drilling)
P10 ¹	P12 ¹	30K 3000K	80CRI	T4LG Type IV low glare ¹	RCCO Right corner cutoff ¹	277V ^{14,15}	SPA Square narrow pole mounting Ø5 drilling
P11 ¹	P13 ¹	35K 3500K	80CRI	TFTM Forward throw medium		347V ^{14,15}	WBA Wall bracket ¹⁶
		40K 4000K	80CRI			480V ^{14,15}	MA Mast arm adapter (mounts on 2 3/8" Ø horizontal tension)
		50K 5000K	80CRI				

Control options	Other options	Finish required
Shipped installed NLTAIR2 PIRHN all light AIR-gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 26" ^{14,15,17}	Shipped installed SPEDOMV 20kV surge protection HS Houseside shield (black finish standard) ¹⁸ L90 Bi-level switched dimming, 50% ^{14,15} L90 Left rotated optics ¹ R90 Right rotated optics ¹ CCE Coastal Construction ¹⁹ HA 50% ambient operation ¹⁴ BAA Bay America(s) Act Compliant SF Single fuse (120, 277, 347V) ¹⁴ DF Double fuse (208, 240, 480V) ¹⁴ Shipped separately EGSR External Gaze Shield (reversible, field install required, matches housing finish) BSDB Bird Spikes (field install required)	DBXD Dark Bronze DBLX Black DNAX Natural Aluminum DWHX White DBTX Textured dark bronze DBLX Textured black DNAX Textured natural aluminum DWHX Textured white
PIR High/low motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 26" ^{14,15,17}	PER7 Seven-pin receptacle only (controls ordered separately) ^{14,15}	
PER NGMA twist-lock receptacle only (controls ordered separately) ¹⁴	FAO Field adjustable output ^{14,15} BL30 Bi-level switched dimming, 50% ^{14,15} DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹⁷ DS Dual switching ^{14,15,17}	
PER5 Five-pin receptacle only (controls ordered separately) ^{14,15}		

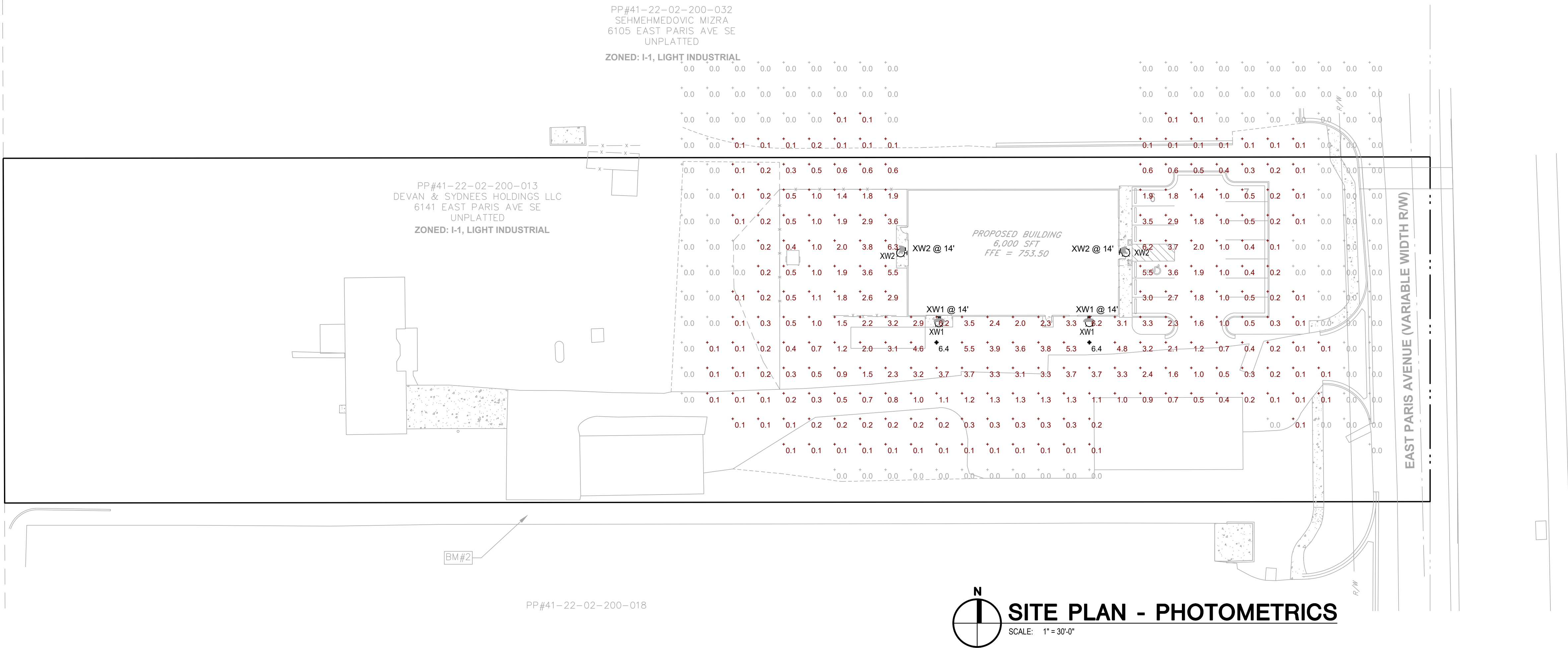


One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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DSX1 LED
Rev. 09/05/23
Page 1 of 10

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
	XW1		2	Lithonia Lighting	DSX1 LED P3 40K 80CRI T3M	D-Series Size 1 Area Luminaire P3 Performance Package 4000K CCT 80 CRI Type 3 Medium	1	12628	1	102.17	
	XW2		2	Lithonia Lighting	DSX1 LED P3 40K 80CRI TFTM	D-Series Size 1 Area Luminaire P3 Performance Package 4000K CCT 80 CRI Forward Throw	1	12905	1	102.17	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SITE	+	0.8 fc	6.4 fc	0.0 fc	N/A	N/A



N.E. COR.
SEC. 2,
T5N, R11W

SITE PHOTOMETRICS FOR:
STONE PRO
6141 EAST PARIS AVE. S.E.
CALEDONIA, MICHIGAN 49316

ISSUED FOR:

02-13-24 FOR SITE PLAN
APPROVAL

PROJECT NUMBER:

2024041

DATE:

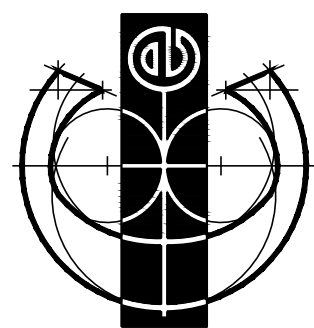
02-13-24

DRAWING NUMBER:

ES2

Classic Engineering, LLC

100 Cedar E. Chavez Ave. S.W. Suite 400
Marietta, Georgia 30066
Phone: 616-742-2810



Gaines Charter Township

Planning Commission Memo

Meeting Date: May 23rd, 2024

AGENDA ITEM: VI.3.a

PROPOSED REQUEST: Reconsideration of
Special Use Permit

ADDRESS: 4598 84th Street SE

PARCEL NUMBER: 41-22-24-200-038

FILE NUMBER: 240313MN

APPLICANT: Mike Naber

PROPERTY ZONING DISTRICT:
Agricultural/Rural-Residential (A-R)

PROPERTY SIZE: 32.17 Acres

REPORT BY: Dakota Swan, Assistant Planner



OVERVIEW

Staff requests the Planning Commission reconsider the request for Special Use Permit approved April 25th to include additional square footage for the accessory building to account for two 10x40 foot covered porches on the north and south sides of the addition. The applicant did intend to apply for a total of 2,400 square feet of additional accessory building square footage, and the public notice for the April 25th meeting was for 2,400 square feet, but the Planning Commission only approved 1,600 square feet due to staff error in the briefing memo.

The applicant is requesting a Special Use Permit to allow adding an additional 2,400 square feet (SF) addition to an existing accessory building. There are 3,032 SF of accessory buildings already on the site, making a total of 5,432 SF of residential accessory buildings on the property.

Based on the zoning ordinance, the property is limited to 2,400 SF of accessory buildings, or 3% of the lot size, whichever is less.

The proposed accessory building addition will be used primarily for personal residential storage use; specifically for trophy mounts and hosting family gatherings.

Surrounding zoning:

	NORTH: Agricultural/Rural-Residential (A-R)	
WEST: Agricultural/Rural-Residential (A-R)	SUBJECT PARCEL	EAST: Agricultural/Rural-Residential (A-R)
	SOUTH: Agricultural/Rural-Residential (A-R)	

STANDARDS OF REVIEW

The request has been reviewed using the applicable review standards of Section 19.8 “General Standards for All Special Land Uses” and the specific standards of Section 20.2 (A) “Accessory Buildings – Standards for Increasing Maximum Floor Area”.

Section 19.8 General Standards for All Special Land Uses

The Planning Commission shall review the particular circumstances and facts of each proposed special use. In addition to the specific standards of consideration stated for each special use type within this Ordinance, it shall be guided in rendering a decision by the following general standards:

- A. *The proposed special use shall be sufficiently designed to maintain adequate provision for the protection of the health, safety, conveniences, and social and economic welfare of those who will use the special use, residents and landowners adjacent to the special use, and the community as a whole.*

Meets standard. The proposed accessory building will be used for residential storage purposes and for hosting family gatherings. As proposed, the use and character of the building will not hinder the health, safety, or economic welfare of surrounding properties or landowners.

- B. *The proposed special use shall be consistent with the intent of this Ordinance and the intent of the Master Plan.*

Meets standard. The 2023 Future Land Use Plan designates this parcel as rural. A request for a detached accessory building is consistent with the Master Plan's guidance for rural residential properties and is provided for by the Zoning Ordinance subject to certain standards being met.

If it is determined that the proposed accessory building is consistent with the standards of Section 20.2 (D), then consistency with the zoning ordinance will be achieved.

- C. *The special use shall not create or substantially add to traffic hazards in the area.*

Meets standard. The proposed accessory building is intended to be used for the storage of trophy mounts and for hosting family gatherings. As an accessory building set to be utilized for residential storage and hosting space for gatherings, it is not anticipated that traffic will be affected. The applicant stated that gatherings are currently being held in the existing barn, and that traffic related to events will remain unchanged.

- D. *Public services and facilities such as roads, police and fire protection, drainage structures, water and sewage facilities or schools, shall be sufficiently extended to the proposed special use such that load capacities are not exceeded.*

Meets standard. As a residential accessory building addition, staff does not anticipate any impacts on roads, police and fire protection, drainage structures, water or sewage facilities, or schools.

- E. *The proposed special use shall not set precedents for development which could adversely affect the long-term plans or policies of the Township.*

Meets standard. Accessory buildings of this scale are typical in rural areas of the township; most surrounding lots have large accessory buildings.

If the Planning Commission determines that the proposed accessory building meets the standards of Section 20.2 (D), the proposed special use will not set precedents for development that adversely impact the long-term plans or policies of the Township.

- F. *The proposed special use shall not have significant adverse environmental, ecological or natural resource impacts.*

Meets standard. The accessory building is not anticipated to have any impact on the environment and natural resources.

- G. *The proposed special use shall not have significant adverse impacts upon adjoining properties or uses.*

Meets standard. The proposed accessory building addition will be located in the rear yard attached to an existing accessory building, and all minimum setback distance requirements are met.

Section 20.2(D).4: Accessory Buildings – Standards for Increasing Maximum Floor Area

In considering a special use permit for an accessory building exceeding the maximum floor area, the Planning Commission shall consider the standards stated in Chapter 19 and the following additional standards:

A. The intended use for the Building.

Meets standard. The proposed accessory building will be used for residential storage purposes and for hosting family events, and will be secondary to a primary residential use.

B. The size, proposed location, type and kind of construction and general architectural character of the Building.

Regulation	Required Setback	Proposed
Distance from Primary Building	10 Feet	Ca. 140 Feet
Front Yard Setback	60 Feet with Type I Buffer	Ca. 90 Feet
Side Yard Setback	20 Feet	64 Feet
Rear Yard Setback	3 Feet	Ca. 470 Feet
Maximum Building Height	20 Feet	? Feet

Undetermined. The setback requirements for the building have been met, with the exception that height has not been defined. The building addition is in the rear yard of the house. Height is not specified but requirements stipulate a maximum height of 20 feet.

The building addition will be of pole barn construction with steel siding. It is unclear what the color of the building addition will be. Staff is recommending a condition of approval that the building be architecturally similar and the same color as the existing accessory building on the site.

C. The type and kind of principal and Accessory Buildings and Structures located on properties in the same neighborhood.

Meets standard. There are several accessory buildings similar in size to the proposed building located in the surrounding neighborhood. Properties to the east of the subject parcel have similarly sized pole barns.

D. Whether the Building will affect the light and air circulation or views of any adjoining properties.

Meets standard. The proposed building is not anticipated to affect light or air circulation on surrounding properties.

E. The reason why the applicant has requested an Accessory Building in excess of the maximum floor area.

Meets standard. The applicant desires additional square footage for residential storage purposes. The accessory building will not be utilized for commercial purposes.

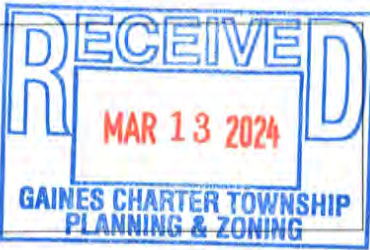
F. The extent the building absorbs required yards and other open spaces.

Meets standard. The total requested square footage of accessory building coverage is less than 2% of the total lot size.

STAFF RECOMMENDATION

Staff recommends approval of the Special Use Permit with the following conditions of approval:

1. The accessory building addition shall be architecturally similar to and the same color as the existing accessory building on the site.
2. The accessory building shall not be utilized for commercial purposes.



FILE NO.

240313 MN

8555 Kalamazoo Avenue SE • Caledonia MI 49316
Ph: 616 698-6640 • Fax: 616 698-2490
www.gainestownship.org

Special Use Permit Application

Project Address	4598 84th St SE, Caledonia, MI 49316		
Owner Name	Mike Naber		
Owner Address	Street Address	City, State, Zip	
Parcel Number(s):	41-22- 24-200-038	41-22-	
Description of Proposed Project/Use	Additional room on existing barn to display trophy mounts and have family gatherings.		

Applicant/Contact	Mike Naber		
Applicant/Contact Address	Street Address	City, State, Zip	
Contact Info	Home / Office / Cell 616-893-9360	E-Mail mike@midwayrv.com	
"I" hereby certify to the correctness and knowledge of the information submitted and hereby agree to comply with the terms and requirements of all applicable Township ordinances. I also grant Township staff permission to enter onto the subject property in review of this application.			
Signature			
Please complete the appropriate Worksheet as part of your application packet (see Staff for more information) for: Planning Commission, Zoning Board of Appeals requests, Land Divisions, Combinations or Lot Line Adjustments.			

Township Use Only

Current Zoning District:	RL-14	RL-10	R-3	R-4	C-1	C-2	O-S	I-1	I-2	PUD	<u>A-R</u>	A-B
One / Two Family Construction	☐	Zoning Board of Appeals	☐	Planning Commission	☐	Land Combination	☐					
Site Plan Review	☐	Rezoning / PUD Rezoning	☐	PUD Amendment	☐	Land Division	☐					
Subdivision / Site Condo Review	☐	Special Use Permit	☐	Lot Line Adjustment	☐							
Other:												
Approved	☐	Approved with Conditions	☐	Denied	☐	Withdrawn	☐					
Zoning Administrator:							Date:					

Applicant Response to General Standards of Review

Special Land Uses are those that have been identified as uses requiring special consideration based upon their potential effect on the adjacent area. Special regulation of these uses is necessary to protect and preserve the quality of the Township's residential and commercial neighborhoods and not all locations are appropriate for all special uses. The proposed location, the site design and layout of the use, the size and magnitude of the use and hours of operation may all be important considerations.

1. How much traffic, what kind of traffic and at what times of the day and or week will traffic be generated by the proposed use.

no more traffic than we already have. we are already having the gatherings in the existing barn.

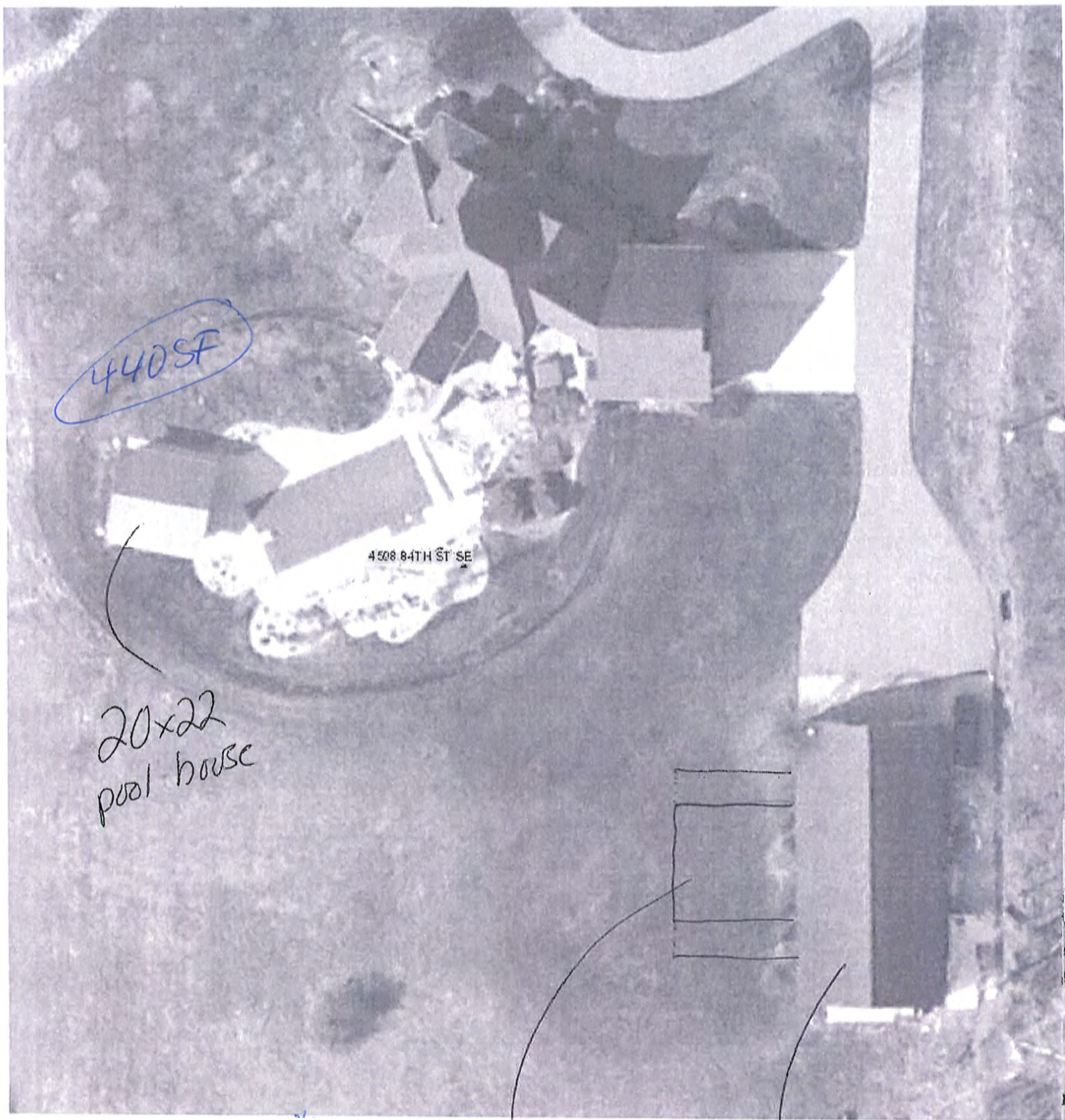
2. Will the use or activity generate any noise, dust, odor, light or other emissions? If so what type and how frequently.

No.

3. In addition to the above, describe any other the activities or characteristics associated with the building(s) and use and what measures will be taken in the location design, and operation of the use to keep the use, building or activity in harmony with neighboring properties and avoid the imposition of adverse impacts on them and the community.

the addition would be placed in between the existing barn and the pool area. it would be hard to see until you are up close. we are also 2000 feet off the road, making it almost unnoticeable from the road.

4. Describe how the proposed special use will avoid the creation of adverse environmental, ecological or natural resource impacts.



440 SF

20x22
pool house

4508 84TH ST SE

40x40 proposed
addition with
10' covered patio
on north and
south side

36x72
existing
barn

Gaines Charter Township

Planning Commission Memo

Meeting Date: May 23rd, 2024

AGENDA ITEM: VI.3.b

FILE NUMBER: 240424AB

PROPOSED REQUEST: Dutton Mill PUD – PUD
Amendment to Marathon Gas Station

PROPERTY ZONING DISTRICT: PUD

ADDRESS: 3495 68th Street

PROPERTY SIZE: 0.59 Acre

PARCEL NUMBERS: 41-22-02-377-006

REPORT BY: Dan Wells, Community
Development Director

APPLICANT: Adam Bryant, Irish Design & Build,
Inc



OVERVIEW

The applicant requests to build an addition at the Marathon Gas Station at 3495 68th Street, which is part of the Dutton Mill Village Planned Unit Development. The addition would extend into what would normally be a 25-foot rear setback from the property line in General Commercial, and create a 15.3-foot setback, thus the need for a PUD Amendment.

The proposed addition is for a refrigerated walk-in cooler. The current building is 3,200 square feet, and set 43.1 feet from the northern property line which conforms with a general 25-foot setback requirement for General Commercial. The proposed 28x50 foot (1,400 square feet) addition would extend 28 feet to the north, narrowing the rear setback to 15.3 feet. This would be similar to the side setback on the east side of the building which is 16.7 feet. The addition would not extend into the access easement that lies on both the east and north side of the building, but would bring it immediately adjacent.

Surrounding zoning:

	NORTH: PUD/Commercial	
WEST: Dutton Fire Station	SUBJECT PARCELS	EAST: PUD/Commercial
	SOUTH: 68 th Street/ Commercial	

PROCESS

Review of the PUD amendment application is subject to the following process:

1. Preliminary PUD plan review and Planning Commission approval based on Section 11.1
2. Final PUD plan review based on Section 25.3 and a public hearing held by the Planning Commission
3. Recommendation concerning the final PUD plan and rezoning by the Planning Commission through a resolution and draft ordinance
4. Review by the Township Board at first reading
5. Review, public hearing, and approval of the final PUD plan and rezoning by the Township Board at second reading.

SUBMITTAL REQUIREMENTS

The applicant provided a complete preliminary application with fees. A preliminary site plan was provided for review. The applicant has primarily satisfied the requirements of Section 10.5 Preliminary Plan - Submittal Requirements.

PUD STANDARDS OF REVIEW

The preliminary PUD request has been reviewed using the applicable review standards of Section 11.1, Planned Unit Development - General Review Standards. Additional information is included over the following pages concerning review considerations and standards.

A. Consistency with Master Plan and Zoning Ordinance: The Planned Unit Development must further the goals and objectives of the Township Master Plan and must be consistent with it. It must also be consistent with the intent and purpose of this Zoning Ordinance.

Undetermined. The parcel is currently zoned Planned Unit Development, so setbacks are determined by the approval of the site plan at that time.

When the PUD was approved April 23rd, 1981, parcel lines defining 3495 68th Street were not apparent on the site plan, but the land division control map dating to 1997 indicates that 3495 68th Street had been established by then. Thus, the setbacks under the original approval are not clear, and based on lack of Planning Department documentation were not officially approved.

In this situation Staff suggests applying a setback based on the underlying zoning, in this case General Commercial. It should be recognized that both development standards and site plan review standards and processes may have been different in the past and may not have taken into account considerations under the current ordinance.

The gas station currently sells wine, beer and liquor. The addition of a 1,400 SF walk-in cooler will significantly increase the square footage devoted to refrigerated drink sales.

It is not clear if there are any proposed changes to outdoor lighting.

B. Aesthetics: The Planned Unit Development must be aesthetically pleasing and be an integrated development with respect to building facades, building materials, landscape and berming, noise and visual screening mechanisms, and signs. It should contribute to creating a distinctive attractive community with a strong sense of place.

Does not meet standard. Several changes to the site plan have been made since Dutton Mill Village was approved that reduced the amount of green space on the gas station site (See Exhibit 1: 1981 PC Approval). The building was first constructed in 1984, first canopy added 1987, second canopy and gas pumps added in 1999. Signs were added and replaced multiple times over the years. Not all of these changes were reviewed for zoning compliance at the time and the alterations came at the expense of greenspace.

Clearly, the landscaping approved under the 1981 approval has not been maintained, but the applicant has provided a plan to make landscaping improvements to the property along 68th Street. They have requested a waiver for landscaping improvements along West Mill Run.

The current appearance of the facility is not up to standards in the following ways:

- Landscaping has not been maintained; weeds are apparent in the rock feature at front and decorative fencing is broken and pieces laying in the grass.
- Unauthorized snipe signage is present, and poster signage is on the south façade.
- Particle board is exposed on the east façade.
- Dumpsters on adjacent lot are not covered (may not be owners' responsibility).
- Pole lights along West Mill Run are in poor condition and in need of replacement (may not be owners' responsibility).

C. Compatibility with Adjacent Uses: The Planned Unit Development must be compatible with surrounding uses. Efforts must be made to reduce any adverse effects on surrounding uses.

Meets standard. The immediate surrounding uses are commercial and civic. The Future Land Use Plan for the surrounding area is commercial.

D. Density: The density requirements of the proposed Planned Unit Development shall be based on the underlying land use district in the Master Plan. The Township Board, upon recommendation of the Planning Commission, may vary the density requirements if doing so would result in a development that better achieves the intent of the Master Plan.

Meets standard. There is no minimum lot area, coverage ratio, or width requirement in the General Commercial zone.

E. Traffic: The Planned Unit Development shall be designed to minimize the effect of traffic generated by the proposed development on surrounding uses. Consideration should be given to: 1. The amount and type of traffic generated by the proposed project and capacity of existing and proposed streets to safely absorb that additional traffic. Whether the streets and pedestrian walkways within each project are designed to facilitate safe pedestrian and vehicular traffic flow patterns. 3. All points of ingress and egress to the project shall be located and designed to maximize safety.

Meets standard, with consideration. Traffic has adequate ingress/egress from the parcel, and adequate circulation within. The adjacent property to the east has left the parking lot open so traffic has a wide area to drive in, but this has also led to lack of direction for drivers. We have not had reports of accidents in this area, but striping may help direct drivers into specific lanes to help avoid conflict.

There are currently approximately 9 parking spaces on the north side of the building, those would be reduced to 3. There are approximately 7 spaces on the south side of the building, but they are poorly striped and it's difficult to determine if parking conflicts with circulation around the pumps.

On the north side of the building asphalt is degraded and potholed. Staff recommends the applicant specify that this area will be resurfaced.

The issue of building an addition to the edge of a 30-foot access easement should be considered. Under Chapter 22 "Roads and Shared Driveways", 50 feet is the minimum width for a shared driveway, and development standards typically require setbacks to be measured from access easements. The ordinance does not, however, directly address commercial shared drives like this situation. Since this is a PUD, the setbacks can be modified, Planning Commission should consider this issue carefully.

F. Protection of Natural Environment: Each project shall be designed to minimize adverse effects on the environment. Special emphasis shall be placed on maintaining the quality of air, soils, groundwater, streams, wetlands, and rivers.

Meets standard. To staff's knowledge gasoline storage tanks are in good working condition on the site.

G. Schools: Whether a project can be served by existing schools and school related facilities and the impact upon schools if the property is developed in accordance with the Planned Unit Development plans or in accordance with the conventional zoning district requirements shall both be considered. In addition, streets and pedestrian walkways shall be designed and located in any project to facilitate the ability of students to make the best and safest use of existing schools and school related facilities.

Not Applicable. The project will have no effect on schools.

H. Public Facilities: The Planning Commission shall consider the impact a project will have on:
1. Public safety and protection services.

2. Water and sewer facilities.**3. The costs for such services.**

Each project shall be designed and located so as to facilitate use of, access to, or the logical expansion or extension of existing facilities in order to minimize any adverse financial or other impact upon the Township and to promote public health and safety.

Meets standards. Overall, the project will have no impact on public services or utilities.

The south canopy has been placed on top of a private stormwater easement that crosses the site. The Township Engineer is not concerned about this since it's a private easement running to the adjacent property.

I. Water, Sewer, and Drainage Systems: A Planned Unit Development shall be served by a public or private water and sanitary sewer systems. The Kent County Health Department and/or the Township Engineer must approve the systems. A PUD shall also have a drainage system for surface water run-off which the Kent County Drain Commission and / or the Township Engineer must approve.

Meets standard. The Township Engineer has reviewed the project and has no concerns.

J. Open Space: The Planning Commission and Township Board should consider whether the PUD permanently preserves significant amounts of open space or significant natural features. The Township Board may require, upon recommendation of the Planning Commission, that natural amenities such as, but not limited to, ravines, rock outcrops, wooded areas, tree or shrub specimens, unique wildlife habitat, ponds, streams, and wetlands be preserved as part of the open space system.

Not Applicable.

K. Non-Motorized Transportation Network: Projects within an identified trail network corridor may be required to construct a portion of the trail.

Not Applicable.

STAFF RECOMMENDATION

Staff recommends the Planning Commission consider the issues of narrowed setbacks, and what improvements to the appearance of the property must be made for expansion of the business.

The applicant has requested a waiver for landscaping along West Mill Run. Planning Commission may provide that via voice vote if it is granted.

If additional improvements are required, the Planning Commission should give the applicant clear directions on what needs to be addressed and may provide waivers from other site plan requirements under Chapter 25.

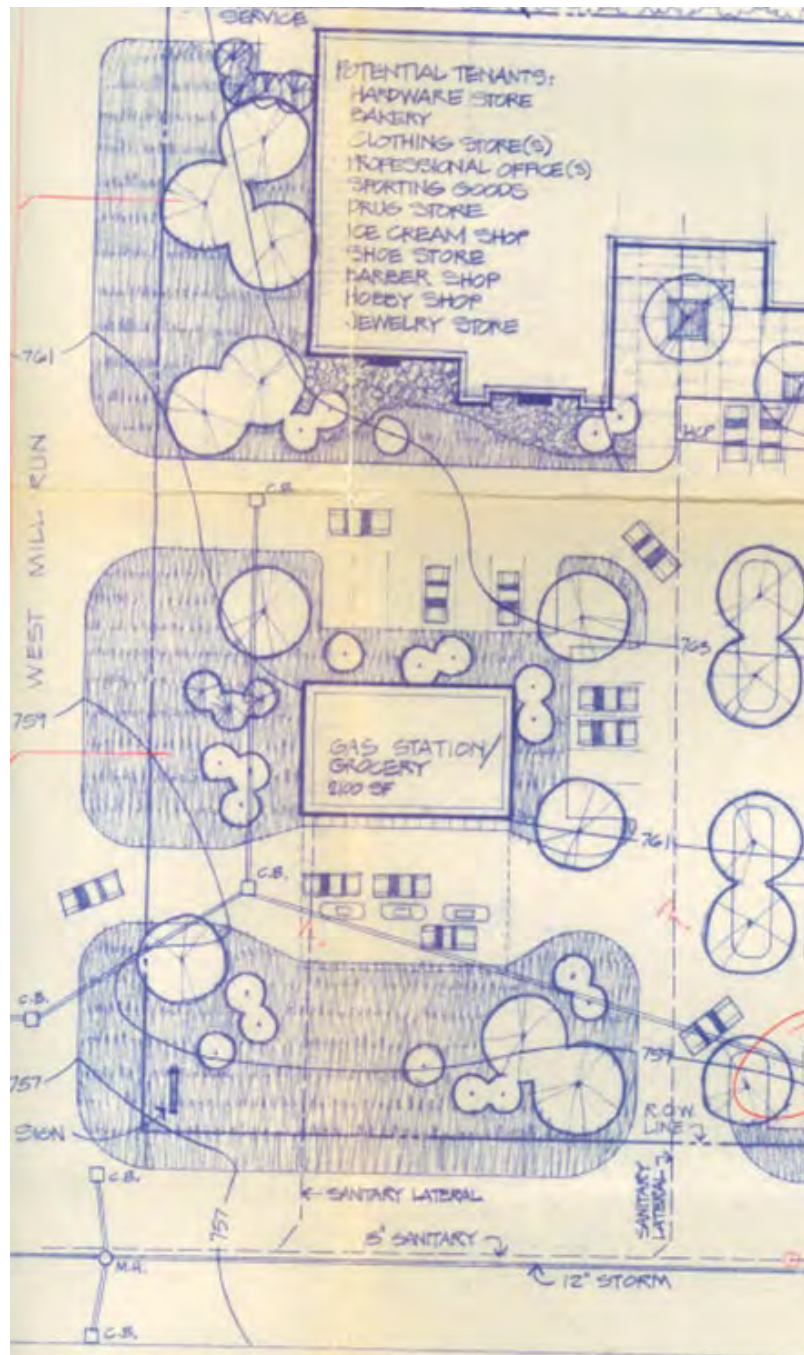
If Planning Commission decides the proposed project can move forward to site plan review and public hearing, Staff suggests that many site plan requirements may be waived, but the following site plan elements be detailed:

- Dumpster screening (if under owners control).
- Access road, internal lane and parking striping
- Any changes to outdoor lighting and photometric plan if there are.

Additional actions should be undertaken to bring the property into compliance with the sign ordinance and building code:

- Remove snipe signs, and poster signage on the south façade.
- Clean up weeds in the rock feature at front and remove or repair decorative fencing that is broken.
- Paint unfinished board exposed on the east façade.

Exhibit 1: 1981 PC Approval





FILE NO.

240424AB

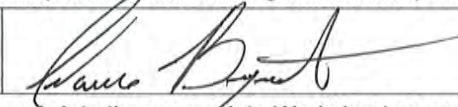
8555 Kalamazoo Avenue SE • Caledonia MI 49316
Ph: 616 698-6640 • Fax: 616 698-2490
www.gainestownship.org

Application for Zoning Ordinance Amendment/Rezoning

Project Address	3495 68 th ST AVE CALEDONIA, MI 49316		
Owner Name	DUTTON BP LLC		
Owner Address	Street Address	City, State, Zip	
	3495 68 th ST SE	CALEDONIA, MI 49316	
Parcel Number(s):	41-22-02-377-006	41-22-	
Description of Proposed Project/Use	NEW ADDITION TO EXISTING PARTY / GAS STATION. PROVIDE 1,400 SF OF NEW SPACE TO INSTALL NEW COOLERS & WALK-IN BEER CAVE.		

Applicant/Contact	ADAM BRYANT IRISH DESIGN & BUILD INC.		
Applicant/Contact Address	Street Address	City, State, Zip	
	2250 28 th ST SW	WYOMING MI 49519	
Contact Info	Home / Office / Cell	E-Mail	
	616-532-2590 / 616-893-6966 CELL	irishdesign3@comcast.net	

"I" hereby certify to the correctness and knowledge of the information submitted and hereby agree to comply with the terms and requirements of all applicable Township ordinances. I also grant Township staff permission to enter onto the subject property in review of this application.

Signature	
Please complete the appropriate Worksheet as part of your application packet (see Staff for more information) for: Planning Commission, Zoning Board of Appeals requests, Land Divisions, Combinations or Lot Line Adjustments.	

Township Use Only

Current Zoning District:	RL-14	RL-10	R-3	R-4	C-1	C-2	O-S	I-1	I-2	<u>PUD</u>	A-R	A-B
One / Two Family Construction	☐	Zoning Board of Appeals	☐	Planning Commission	☐	Land Combination	☐					
Site Plan Review	☐	Rezoning / PUD Rezoning	☐	PUD Amendment	☒	Land Division	☐					
Subdivision / Site Condo Review	☐	Special Use Permit	☐	Lot Line Adjustment	☐							
Other:												
Approved	☐	Approved with Conditions	☐	Denied	☐	Withdrawn	☐					
Zoning Administrator:										Date:		

Rezoning/ Ordinance Amendment Applicant Worksheet

File No.

For all rezoning requests, submit a fully dimensioned map showing:

- Legal description
- Parcel numbers
- Present Zoning District
- Zoning District of abutting properties
- All public and private right of ways, easements bounding and intersecting the land to be rezoned.

☐ Text or Zoning Map Amendment
☐ Current Zoning District _____
☐ Proposed Zoning District _____

☒ Planned Unit Development (PUD) Rezoning
☐ Conditional Rezoning

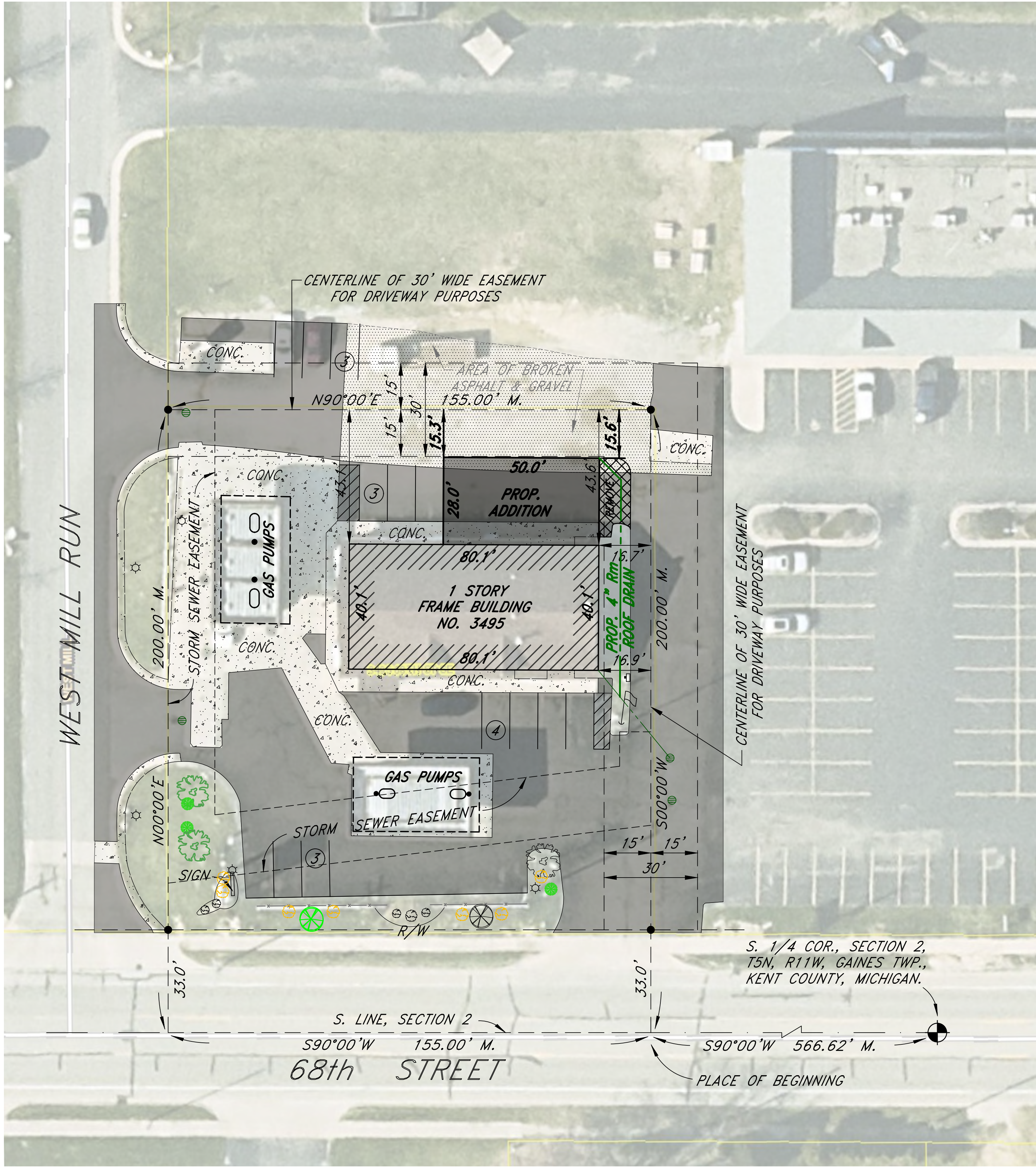
For PUD and Conditional Rezoning's refer to the applicable section of the Zoning Ordinance for specific submittal requirements.

SIGNATURE OF ALL OWNERS (proof of ownership required)

Signature	<i>Sullivan Lee Lyja</i>	Date	<i>4-24-24</i>	Signature		Date	
Signature		Date		Signature		Date	

General Rezoning Review Standards

1. If the request to rezone is to correct an error, state the circumstances and how the proposed amendment will result in a correction.
2. Explain changed or changing conditions that make the proposed amendment reasonably necessary to the promotion of public health, safety and general welfare.
NEW ADDITION TO MAKE STORAGE SPACE & OPEN UP FLOOR PLAN
FOR SHELVING & RELOCATE EXISTING BATHROOM WHICH
WILL BE MADE TO HANDICAP CODE REQUIREMENTS.
3. List circumstances, factors and reasons supporting the proposed amendment.
NEED EXTRA SPACE TO REPLACE & EXPAND COOLER
STORAGE.
4. Indicate the section and reason for text amendments to the current Zoning Ordinance.



LANDSCAPE REQUIREMENTS:

FRONT YARD LANDSCAPING
POINTS THAT MUST BE ACHIEVED FOR FRONT YARDS IS OVERALL LENGTH DIVIDED BY 2.

PARKING LOT LANDSCAPING
POINTS THAT MUST BE ACHIEVED FOR PARKING LOTS SHALL BE (1.5) TIMES THE TOTAL NUMBER OF PARKING SPACES. PARKING AREAS IN THE REAR YARD AND NOT ADJACENT TO STREET SHALL BE (0.75) OF THE TOTAL NUMBER OF PARKING SPACES. THE POINTS MAY BE ACHIEVED THROUGH THE USE F ANY COMBINATION OF TREES, GROUND COVER, AND/OR SHRUBS. IN PARKING LOTS LESS THAN 100 SPACES, THE LANDSCAPING MAY BE PLACED WITHIN INTERIOR CURBED ISLANDS AND/OR WITHIN (10) FEET OF THE PERIMETER OF THE PARKING LOT.

PROPOSED LANDSCAPING:

FRONT YARD LANDSCAPING:
ALONG 68TH STREET FRONTAGE: 155'/2 = 78 POINTS
ALONG WEST MILL RUN FRONTAGE: ASKING FOR A WAIVER

SHOWN:
EXISTING LANDSCAPING:
(1) EX. INTERMEDIATE TREE (TALLER THAN 15') = 11 POINTS CREDIT
(1) EX. INTERMEDIATE TREE = 6 POINTS CREDIT
(2) EX. EVERGREEN SHRUBS = 6 POINTS CREDIT
(3) EX. DECIDUOUS SHRUBS = 6 POINTS CREDIT
EX. POINTS = 29

PROPOSED LANDSCAPING:
(1) PROP. CANOPY TREE = 10 POINTS
(2) PROP. INTERMEDIATE TREE = 12 POINTS
(7) EVERGREEN SHRUBS = 21 POINTS
(3) DECIDUOUS SHRUBS = 6 POINTS
PROP. POINTS = 49
TOTAL POINTS = 78

LANDSCAPING LEGEND:

- 1 Canopy Tree 2" caliper
Red Sunset Maple
- 1 Ornamental Tree 2" caliper
Dogwood
- 19 Shrubs 2'H
Boxwood
Arrowwood Viburnum

PROPERTY DESCRIPTION:

PPN# 41-22-02-377-006
3495 68th Street SE Caledonia, MI 49316
Owner: Dutton Property LLC

That part of the Southwest 1/4, Section 2, T5N, R11W, Gaines Township, Kent County, Michigan, described as: BEGINNING at a point on the South line of Section 2, which is South 90°00' West 566.62 feet from the South 1/2 corner of Section 2; thence South 90°00' West 155.00 feet along the South line of Section 2; thence North 00°00' East 200.00 feet along the East line of West Mill Run; thence North 90°00' East 155.00 feet; thence South 00°00' West 200.00 feet to the place of beginning. Subject to and together with an easement for driveway purposed which is described as: Commencing at the South 1/4 corner of Section 2; thence South 90°00' West 721.62 feet along the South line of Section 2; thence North 00°00' East 200.00 feet along the East line of West Mill Run to the PLACE OF BEGINNING of the centerline of a 30 foot wide strip of land; thence North 90°00' East 155.00 feet; thence South 00°00' West 167.00 feet to the North line of 68th Street and the place of ending of the centerline of said 30 foot wide strip of land. Also subject to an easement for storm sewer described as: Commencing at the South 1/4 corner of Section 2; thence South 90°00' West 721.62 feet along the South line of Section 2; thence North 00°00' East 48.00 feet to the PLACE OF BEGINNING of this description; thence North 00°00' East 152.00 feet along the East line of West Mill Run; thence North 90°00' East 15.00 feet; thence South 00°00' West 130.06 feet; thence North 83°10' East 130.93 feet; thence North 00°00' East 11.06 feet; thence North 90°00' East 10.00 feet; thence South 00°00' West 30.00 feet; thence South 83°10' West 156.11 feet to the place of beginning.

Contains 31,000 SF or 0.71 Acres

REQUIREMENTS:

1. PROJECT DESCRIPTION: BUILDING ADDITION ON THE NORTH SIDE OF THE EXISTING BUILDING.

EX. ZONING: PUD

SETBACKS (C-2) GENERAL COMMERCIAL
FRONT: 25'
SIDE: 15' (NOT ADJACENT TO RESIDENTIAL)
REAR: 25' (NOT ADJACENT TO RESIDENTIAL)

STORMWATER NOTE:

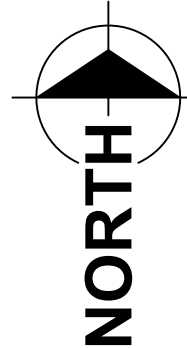
1. There is no net increase in the impervious surfaces, so no stormwater calculations are necessary for this re-development.

GENERAL NOTES:

- All utilities shown are approximate locations derived from actual measurements and available records. They should not be interpreted to be the exact locations nor should it be assumed that they are the only utilities in the area.
- All work shall comply with applicable requirements or the local code, ordinances and accident/fire preventions regulations.
- Remove all demolition materials and debris from the site and dispose of properly offsite.
- Do not bury any debris, roots, topsoil or other materials.
- Adequately protect the site, adjoining property, and utility services.
- Contractor shall field verify all utilities prior to commencing work on new utility connections.
- Install all utilities in accordance with local specifications and requirements.
- Contractor shall be responsible for obtaining necessary permits for work in right-of-way and on any utility connections or abandonments.
- Damage to existing utilities by the contractor shall be repaired at the contractor's expense.



LOCATION MAP
NOT TO SCALE



SCALE: 1" = 20'

LEGEND	
T	TOWN
R	RANGE
N	NORTH
S	SOUTH
E	EAST
W	WEST
SEC.	SECTION
POB	POINT OF BEGINNING
PROPOSED BLACKTOP	
PROPOSED CONCRETE	
EXISTING BLACKTOP	
EXISTING CONCRETE	
BUILDING	
SECTION CORNER	
SET CAPPED IRON	
FOUND IRON OR NAIL	
STORM SEWER MANHOLE	
SANITARY SEWER MANHOLE	
CATCH BASIN	
HYDRANT	
VALVE	
UTILITY POLE	
GUY WIRE	
LIGHT POLE	
WALL MOUNTED LIGHT	
PEDESTAL	
TRANSFORMER	
SIGN	

SITE PLAN
3495 68TH AVE CALEDONIA MI

FOR: DUTTON BP LLC
3495 68TH STREET SE
CALEDONIA, MI 49316

PART OF THE SOUTHWEST 1/4, SECTION 2, T5N, R11W, GAINES TOWNSHIP, KENT COUNTY, MICHIGAN

feenstr
& Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

3145 Prairie St SW Phone: 616.457.7050
Grandville, MI 49418 www.feenstrinc.com

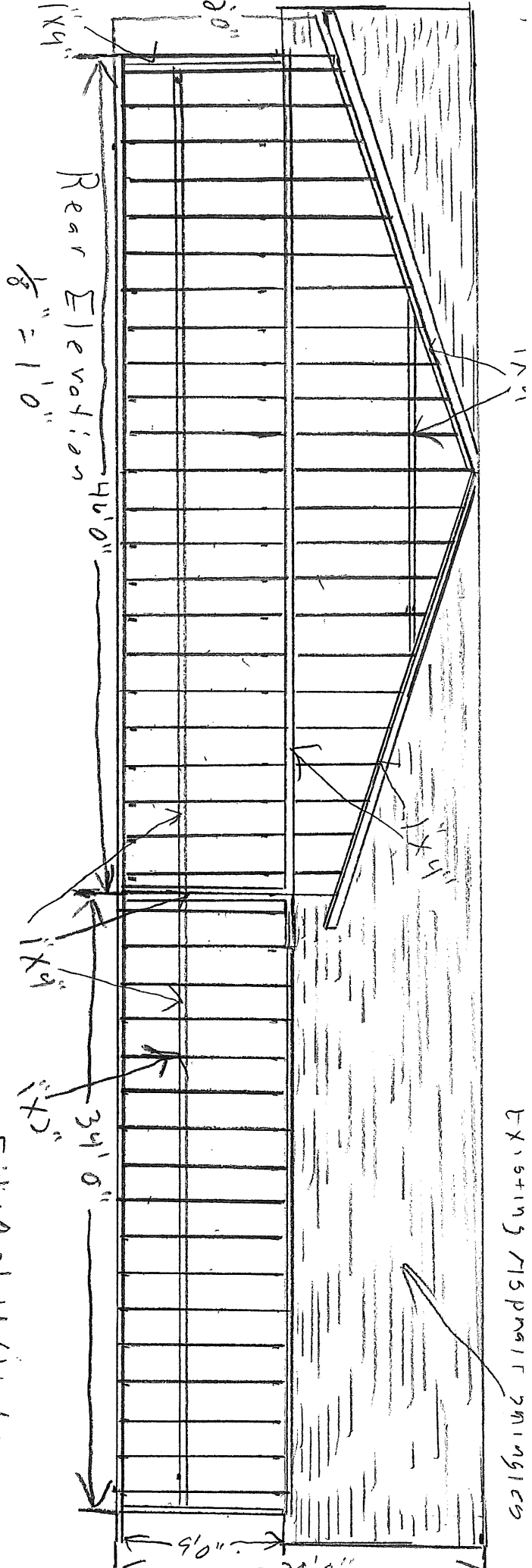
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811

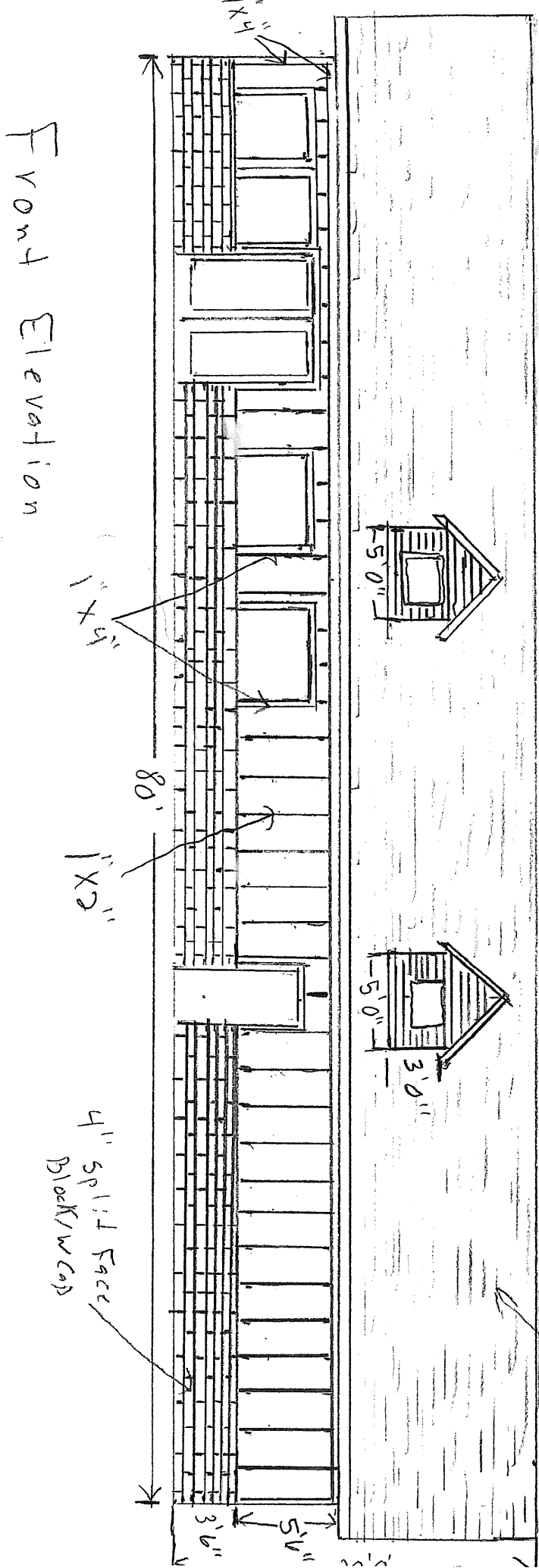
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Existing Asphalt Shingles



4" Split Face Block w/ Cap

Front Elevation

1'8" = 1'0"

